

# NARWEE MIXED USE DEVELOPMENT

41 BROADARROW ROAD, NARWEE, NSW 2209

## ARCHITECTURAL DRAWINGS - DEVELOPMENT APPLICATION

### DRAWING SCHEDULE

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DA-020	DEMOLITION PLAN & SITE MANAGEMENT PLAN
DA-030	SITE PLAN
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DA-107	FLOOR PLAN - BASEMENT 3
DA-108	FLOOR PLAN - BASEMENT 2
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DA-110	FLOOR PLAN - GROUND FLOOR
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DA-201	ELEVATIONS - 01
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DA-501	ADAPTABLE APARTMENT LAYOUTS
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DA-700	SOLAR & CROSS VENTILATION DIAGRAMS
DA-800	SHADOW DIAGRAMS - EXISTING
DA-801	SHADOW DIAGRAMS - EXISTING
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DA-804	SOLAR STUDIES (VIEW FROM THE SUN)
DA-805	SOLAR STUDIES (VIEW FROM THE SUN)
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DA-900	NOTIFICATION PLANS
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### ABBREVIATION KEY

BAL	Balustrade
BAL-G	Balustrade Glass
BCA	Building Code of Australia
BOL	Bollard - Traffic
x BR APT	No. Bedroom Apartment
BY	Bicycle
C	Commercial Car Space
CONC	Concrete
DP	Downpipe
ENS	Ensuite
EX	Existing
FEN	Fence
FL	Floor Level (Finished)
FSR	Floor Space Ratio
GC	Garbage Chute
GD	Grated Drain
GFA	Gross Floor Area
HR	Handrail
LDRY	Laundry
MB	Mail Box
MC	Motorcycle Space
RL	Reduced Level
RWO	Rain Water Outlet
S	Signage
SC	Storage Cage
SC-O	Storage Cage - Overhead
SKL	Skylight
TOW	Top of Wall
W-H	Highlight Window
V	Visitor Car Space

### CONSULTANTS INFORMATION

PLANNER <b>SJB PLANNING</b> ADDRESS: LEVEL 2, 490 CROWN STREET, SURRY HILLS, NSW 2010 T: (02) 9380 9611	LANDSCAPE ARCHITECT <b>SITE DESIGN STUDIOS</b> ADDRESS: PO BOX 265, SEAFORTH NSW 2092 T: 1300 22 44 55
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## 01 LOCATION PLAN

1 : 4000

### BASIX Compliant Design Specification Summary – Refer to BASIX Certificate for all details

<b>Design Specification – Residential Apartment Units FABRIC</b> <b>External Walls:</b> A minimum of R2.5 insulation added to all External Walls to achieve a minimum Total R-Value of R2.8. <b>Walls to Internal Corridors or Non-Conditioned Zones:</b> A minimum of R1.5 insulation added to partition walls between apartment units and non-conditioned enclosed internal zones (including lift lobbies and corridors and fire stairs etc.) to achieve a minimum Total R-Value of R1.8. <b>Internal Walls to Adjoining Apartment:</b> As the adjoining apartment unit is considered a conditioned space there is no minimum thermal insulation requirement for this specific walls. Therefore the insulation to this wall shall be as per acoustic or other design requirements. <b>Ceilings:</b> We have assumed floor to ceiling heights as indicated on the architectural drawings received. <b>Roof Type:</b> A minimum of R4.0 roof insulation to be added to Level 2 apartment unit L02-06 with an exposed roof (Minimum Total R-value R4.2 to be achieved). Roof colour for solar absorbance assumed to be 'medium'.  A minimum of R3.0 roof insulation to be added to all other apartment units with an exposed roof (Minimum Total R-value R3.2 to be achieved). Roof colour for solar absorbance assumed to be 'medium'. <b>Suspended Floor Slabs:</b> Generally: Add R1.0 insulation to underside of suspended floors between conditioned and internal enclosed non-conditioned spaces (e.g. conditioned space above the floor and non-conditioned enclosed spaces below the floor). Note: Excludes suspended floors above a substation.  Add R2.0 insulation to the underside of exposed suspended floor between conditioned and external spaces (e.g. conditioned space above the floor and non-enclosed external space below the floor).  For Apartment Unit L02-06: For Apt L02-06, add R2.0 insulation to underside of L3 slab between internal non-conditioned space above L3 slab and Apt L02-06 located below L3 slab. <b>Floor Coverings</b> The following design specifications have been included within the NatHERS Assessments: <ul style="list-style-type: none"><li>Carpet to all bedrooms.</li><li>Timber to all living spaces</li><li>Tiles to Kitchen areas/bathrooms/toilets/laundry</li></ul> <b>Windows and Glazed Doors (Fixed and/or Operable):</b> The glazing thermal performance specification of <b>Total System U-Value of 4.3 W/m<sup>2</sup>.K</b> and <b>Total System SHGC of 0.53</b> is required for the following apartments: <ul style="list-style-type: none"><li>Apt L01-06, L01-12, L01-13</li><li>Apt L02-06, L02-12, L02-13</li></ul> The glazing thermal performance specification of <b>Total System U-Value of 5.4 W/m<sup>2</sup>.K</b> and <b>Total System SHGC of 0.58</b> is required for the following apartments:
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<b>Design Specification – Residential Apartment Units FABRIC</b> <ul style="list-style-type: none"><li>Apt L01-04, Apt L01-08, Apt L02-04, Apt L07-02, Apt L07-04</li></ul> The glazing thermal performance specification of <b>Total System U-Value of 6.7 W/m<sup>2</sup>.K</b> and <b>Total System SHGC of 0.57</b> is required for all other remaining apartment units.  All windows/glazed doors must be specified with weather-strips to prevent air infiltration when closed. This is standard compliance with AS2047. <b>Note:</b> The thermal performance values for all windows/glazed doors detailed above are "Total System" for glass and framing system combined.
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<b>Design Specification – WATER for Residential Building Component &amp; Related Areas (refer BASIX Certificate)</b> <b>Alternative Water Supply:</b> No rainwater storage/re-use tank system is mandatorily required for BASIX compliance purposes. For all other hydraulic/stormwater requirements, please refer to the Hydraulic/Civil Engineer's detailed specifications. <b>Fire Sprinkler Test Water (B1 to B4):</b> Fire sprinkler test water must be contained within the fire sprinkler system for re-use, rather than disposed. For example, the fire sprinkler test water system must be a closed system where test water can be stored in a storage tank (or similar) to re-use in the next periodic fire sprinkler test. Storage tank sizing must account for this design requirement. <b>Fixtures &amp; Fittings:</b> We note that fixtures with the following minimum WELS performance ratings have been included in the BASIX Assessment: <b>Common Areas (as applicable) &amp; all dwellings:</b> <ul style="list-style-type: none"><li>3 Star WELS minimum rated Showerheads (≥6.0 but &lt;= 7.5 l/min)</li><li>4 Star WELS minimum rated Toilets</li><li>5 Star WELS minimum rated Kitchen taps</li><li>5 Star WELS minimum rated Bathroom taps</li><li>3 Star WELS minimum rated Dishwashers</li></ul> We note a reduction in the water efficiency quality of these appliances/fixtures will affect the water aspect of the BASIX rating.  <b>Notes:</b> <ul style="list-style-type: none"><li>No swimming pool/spa</li><li>No common area showers for residential building component</li><li>No common area toilets for residential building component</li><li>No common laundry facilities for residential building component</li><li>3 Star WELS rated taps for common areas of residential building component</li></ul>
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<b>Design Specification – ENERGY for Residential Building Component &amp; Related Areas (refer BASIX Certificate)</b> <b>Alternative Energy Supply:</b> A minimum 10kW peak Photovoltaic System (PV) is mandatorily required for BASIX compliance purposes. <b>Air Leakage:</b> All units kitchens, bathroom and laundry exhaust shall be via individual fans and ducted to external façade or roof. Refer to BASIX certificate for operation control. Back-draft dampers must be installed to prevent air infiltration. <b>Hot Water Systems:</b> Domestic Hot Water system (gas-fired boiler) has been specified within the BASIX Certificate. Domestic Hot Water pipework is required to have a minimum of R1.0 insulation for all external piping and R0.6 for all internal piping. It should be noted that a less efficient hot water system will affect the rating of the BASIX Energy Target. <b>Lifts:</b> All lift systems: gearless traction with VVVF motor. <b>Mechanical Ventilation Systems:</b> <b>Common Areas:</b> Ground Floor Residential Lobby – natural ventilation only, no mechanical ventilation Ground Floor Bin Collection Area – Ventilation Exhaust Only (Continuous) All Fire Stairs & Fire Egress Corridor – no mechanical ventilation East Block Level 1 to Level 2 Common Corridors – Mechanical Ventilation Supply Only (time clock or BMS controlled) West Block Level 2 Common Corridors – Mechanical Ventilation Supply Only (time clock or BMS controlled) All other Common Corridors – natural ventilation only, no mechanical ventilation Level 1 to Level 7 Bin Rooms – Ventilation Exhaust Only (Continuous) Basement Car Park (all levels B1 to B4, including bicycle parking areas, storage and basement lift lobby areas) – Mechanical Ventilation Supply and Exhaust system (VSD controlled and CO monitoring) B1 Residential Bin Room - Ventilation Exhaust Only (Continuous) B1 Switchroom - Ventilation Supply Only (Continuous) B1 Commis Room – Air conditioning system (continuous) B1 Hydrant Pump Room - Ventilation Supply Only (Continuous) B1 Plant Rooms - Ventilation Supply Only (Continuous)  <b>Apartment Dwelling Units:</b> Bathrooms – Ducted Ventilation exhaust only (interlocked to light) Laundry – Ducted Ventilation exhaust only (Manual switch on/off) Kitchen – Ducted Ventilation exhaust only (Manual switch on/off)  <b>Apartment Dwelling Units Air-Conditioning Systems:</b> Single Phase Reverse cycle air-conditioning for all unit dwellings (living & bedroom areas). Minimum EER requirements – Cooling 3.0 - 3.5, Heating 3.0 - 3.5 Day-night zoning between living room and bedrooms is not required.
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<b>Lighting:</b> <b>Common Areas Lighting:</b> Ground Floor Residential Lobby – LED Lighting with motion sensor control Ground Floor Bin Collection Area – LED Lighting with motion sensor control Ground Floor Substation - LED Lighting with manual on/off control All Fire Stairs & Fire Egress Corridor – LED Lighting with motion sensor control Level 1 to Level 7 Common Corridors – LED Lighting with motion sensor control Level 1 to Level 7 Bin Rooms - LED Lighting with motion sensor control Basement Car Park (all levels B1 to B4, including bicycle parking areas, storage and basement lift lobby areas) – LED Lighting with zoned switching and motion sensor control B1 Residential Bin Room - LED Lighting with motion sensor control B1 Switchroom - LED Lighting with manual on/off control B1 Commis Room – LED Lighting with motion sensor control B1 Hydrant Pump Room - LED Lighting with manual on/off control B1 Plant Rooms - LED Lighting with manual on/off control  <b>Apartment Dwelling Units Lighting:</b> Dedicated LED lamps for all rooms  <b>Lifts Lighting:</b> LED lighting connected to lift call button  <b>Apartment Dwelling Units Appliance Specifications:</b> The following minimum energy performance specifications have been included within the BASIX assessment: Gas cooktop and electric ovens to all dwellings. Dishwasher – 3.5 Star minimum Energy rating Clothes Dryer – 2 Star minimum Energy rating Clothes Washer – not specified Refrigerator – not specified  <b>Compliance Note:</b> A reduction in the energy efficiency quality of any of these appliances will affect the energy aspect of the BASIX rating. Client to confirm which appliances are to be included within building design.
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### AMENDMENTS

ISSUE	DESCRIPTION	APPROVED	DATE
1	DA ISSUE	JL	05/11/18
2	REVISED DA ISSUE	JL	22/11/19
3	REVISED DA ISSUE	CA	14/09/20

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## DA ISSUE

APPROVED BY:  
CA

CHECKED BY:  
JL

CLIENT  
MR & MRS COSTAS

DRAWING  
COVER SHEET

DATE 12/11/15	SCALE @ A3 As indicated	DRAWN JL/PL
PROJECT No. 2017151 A	DISCP. DA-000	ISSUE 3

PROJECT  
NARWEE MIXED USE DEVELOPMENT

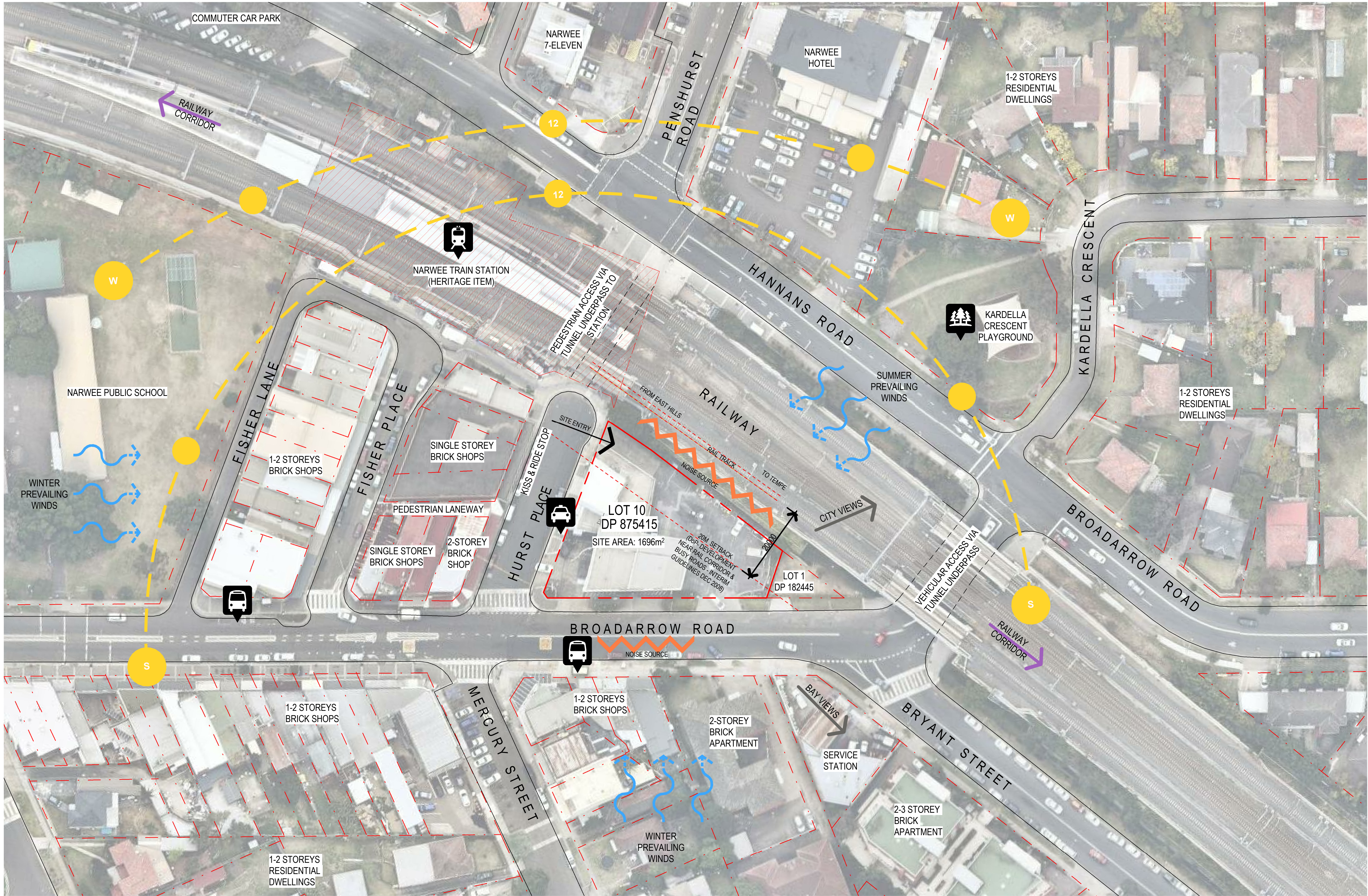
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1	DA ISSUE	JL	05/11/18
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1 SITE ANALYSIS PLAN

1:1000

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CLIENT  
MR & MRS COSTAS

DRAWING  
SITE ANALYSIS

DATE 06/02/16 SCALE @ A3 1:1000 DRAWN JL/PL  
PROJECT No. 2017151 A DISC. DA-010 ISSUE 3  
PROJECT  
NARWEE MIXED USE DEVELOPMENT

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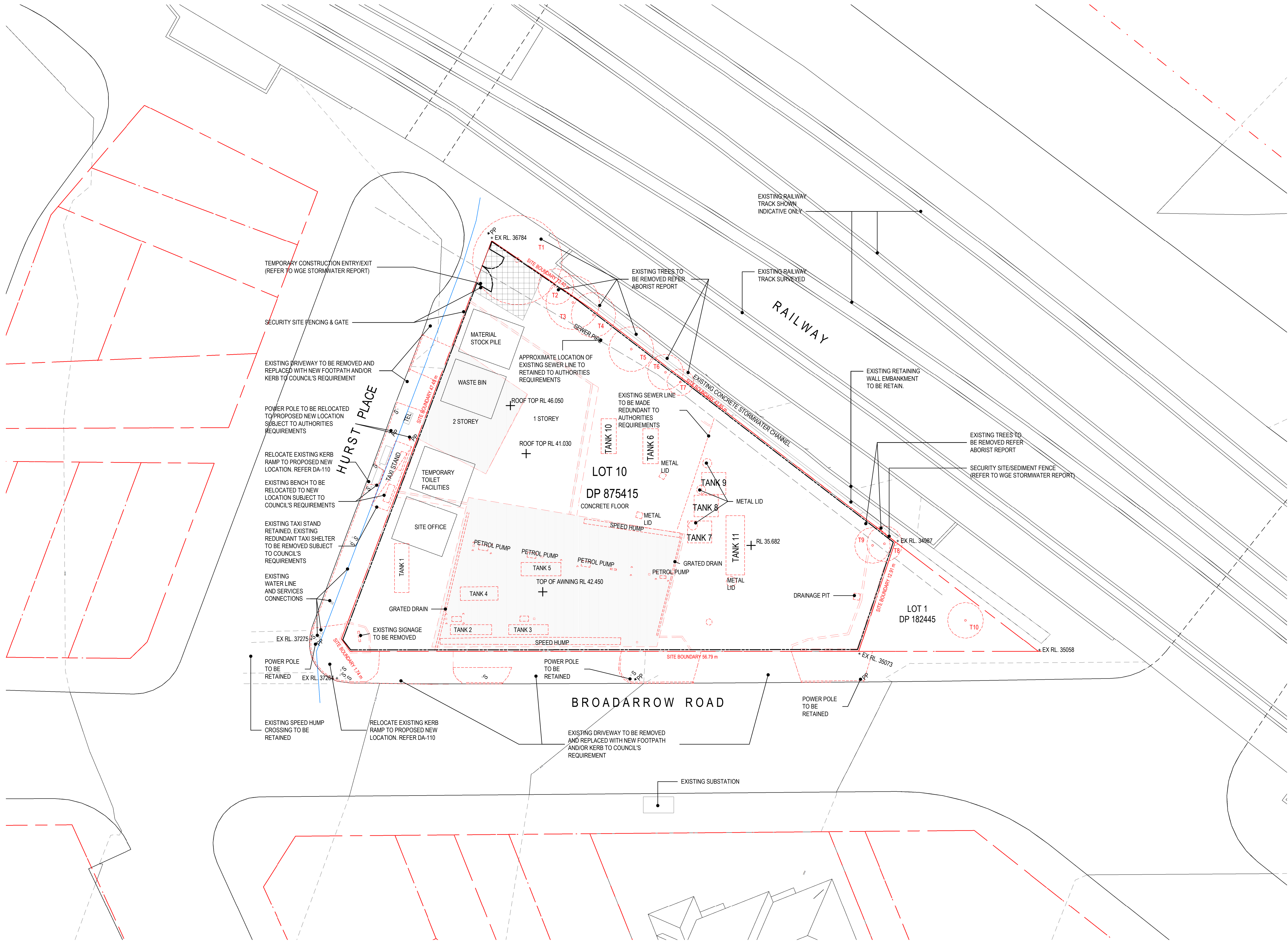
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1	DA ISSUE	JL	02/11/18
2	REVISED DA ISSUE	JL	22/11/18
3	REVISED DA ISSUE	CA	14/09/20



GENERAL NOTE:  
1. APPROXIMATE LOCATION OF ALL UNDERGROUND TANKS  
2. ANY REDUNDANT SITE SERVICES TO BE REMOVED/  
RELOCATED/ REPLACED SUBJECT TO AUTHORITIES  
REQUIREMENTS TO FUTURE DETAILS  
3. ALL EXISTING TRAFFIC SIGNAGES TO BE RETAINED/  
RELOCATED/ REPLACES SUBJECT TO AUTHORITIES  
REQUIREMENTS TO FUTURE DETAILS

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DA ISSUE

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CLIENT  
MR & MRS COSTAS

DRAWING  
DEMOLITION PLAN & SITE  
MANAGEMENT PLAN

DATE 06/03/16 SCALE @ A3 1 : 400 DRAWN JL/PL

PROJECT No. 2017151 A DISCP. DA-020 ISSUE 3

PROJECT  
NARWEE MIXED USE DEVELOPMENT

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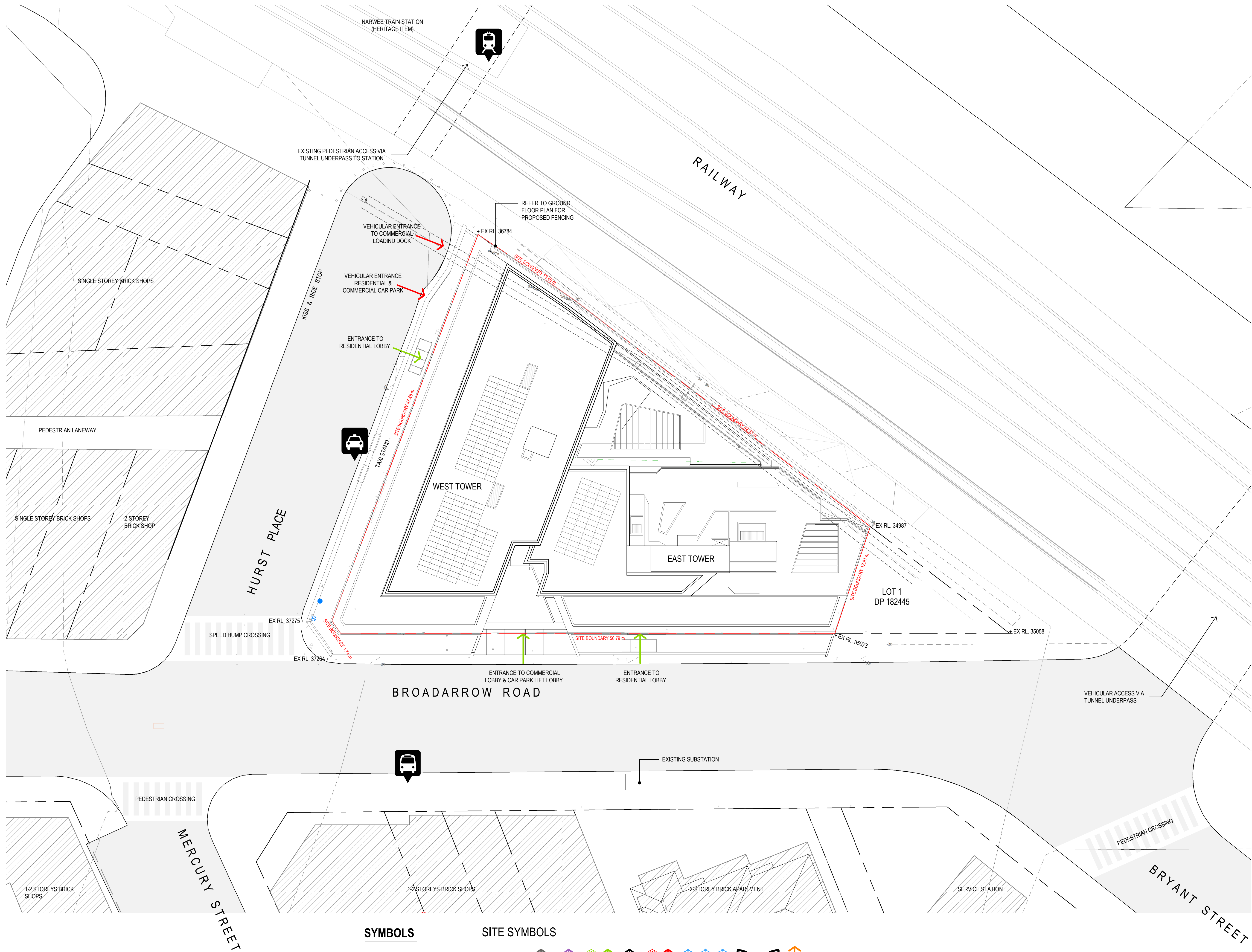
1 DEMOLITION & SITE MANAGEMENT PLAN

1 : 400



AMENDMENTS

ISSUE	DESCRIPTION	APPROVED	DATE
1	DA ISSUE	JL	05/11/18
2	REVISED DA ISSUE	JL	22/11/19
3	REVISED DA ISSUE	CA	14/09/20



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DRAWING  
SITE PLAN

DATE 06/02/16 SCALE @ A3 1 : 400 DRAWN JL/PL

PROJECT No. 2017151 A DISC. DA-030 ISSUE 3

PROJECT  
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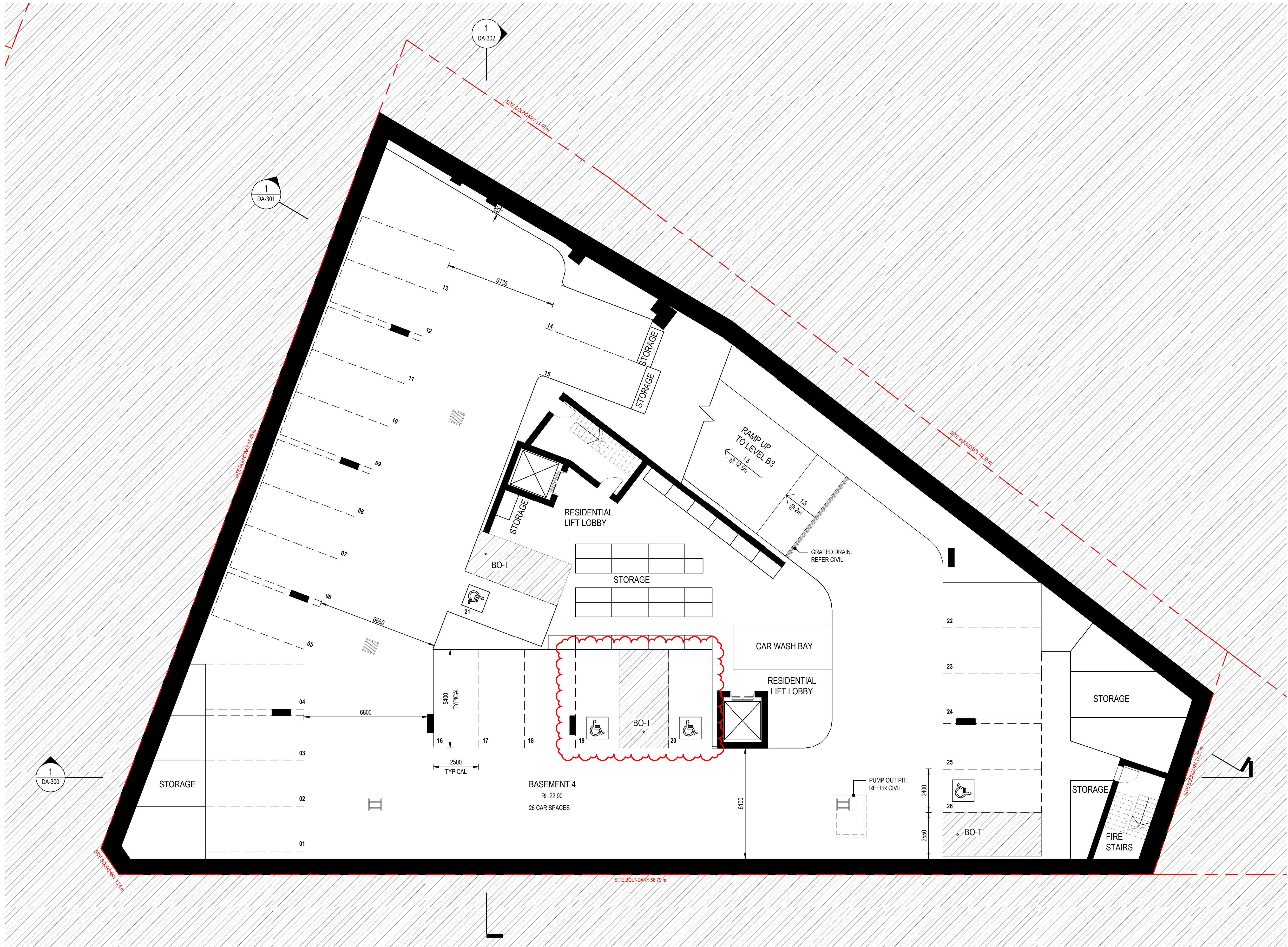
1 SITE PLAN

1:400



AMENDMENTS

ISSUE	DESCRIPTION	APPROVED	DATE
1	DA ISSUE	JL	05/11/18
2	REVISED DA ISSUE	JL	22/11/18
3	REVISED DA ISSUE	CA	14/09/20



1 FLOOR PLAN - BASEMENT 4

1 : 200

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DRAWING FLOOR PLAN - BASEMENT 4

DATE 06/02/16 SCALE @ A3 1 : 200 DRAWN JL/PL

PROJECT No. 2017151 A DISC. DA-106 ISSUE 3

PROJECT NARWEE MIXED USE DEVELOPMENT

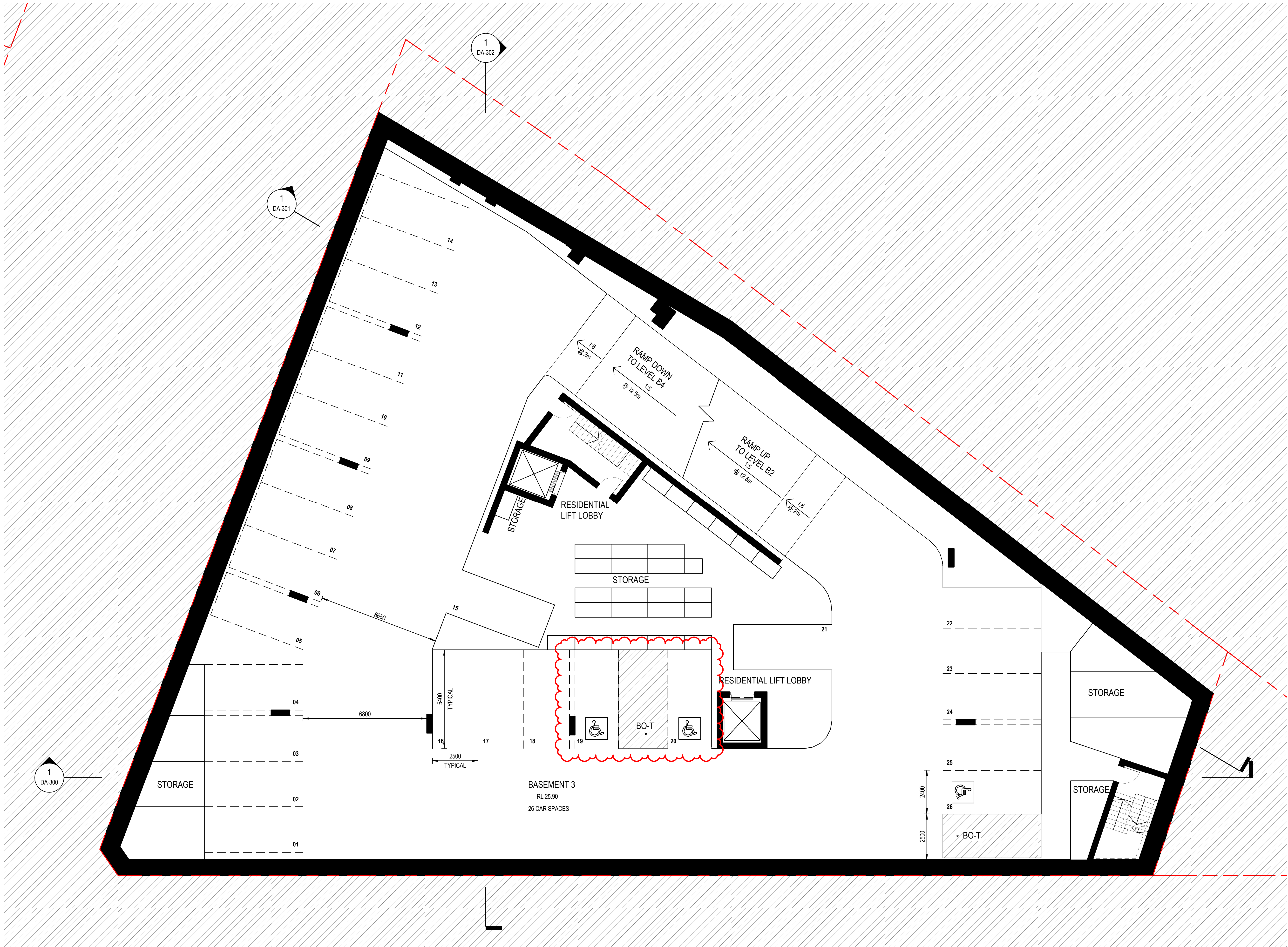
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2	REVISED DA ISSUE	JL	22/11/18
3	REVISED DA ISSUE	CA	14/09/20



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MR & MRS COSTAS

DRAWING  
FLOOR PLAN - BASEMENT 3

DATE	SCALE @ A3	DRAWN	
10/17/18	1 : 200	JL/PL	
PROJECT No.	DISCP.	DRAWING No.	ISSUE
2017151 A	DA-107		3

PROJECT  
NARWEE MIXED USE DEVELOPMENT

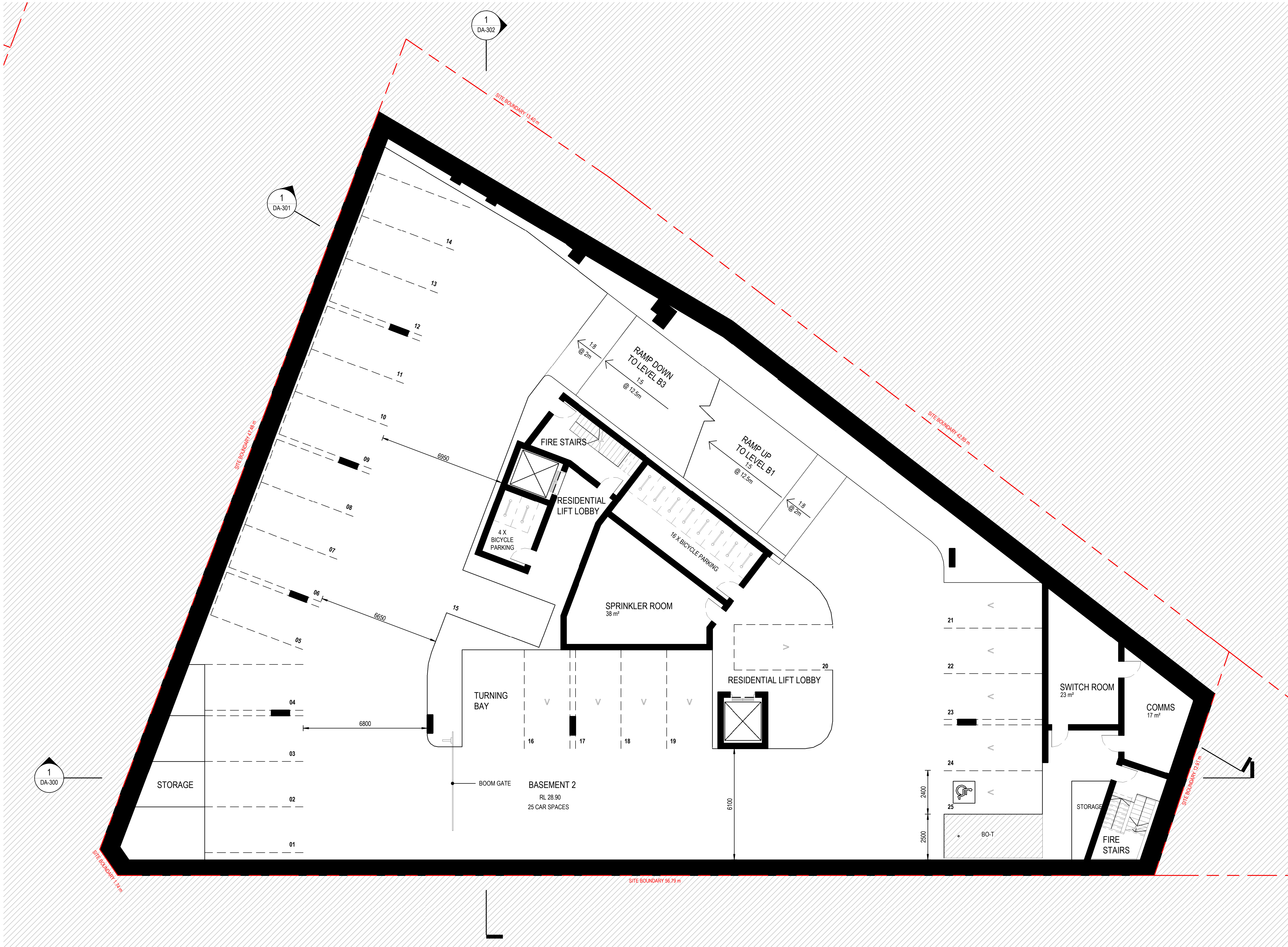
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1 FLOOR PLAN - BASEMENT 3

1 : 200





1 FLOOR PLAN - BASEMENT 2  
1 : 200

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3	REVISED DA ISSUE	CA	14/09/20

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MR & MRS COSTAS

DRAWING  
FLOOR PLAN - BASEMENT 2

DATE	SCALE @ A3	DRAWN	
06/02/16	1 : 200	JL/PL	
PROJECT No.	DISC.	DRAWING No.	ISSUE
2017151 A	DA-108	3	
PROJECT NARWEE MIXED USE DEVELOPMENT			

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1	DA ISSUE	JL	05/11/19
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3	REVISED DA ISSUE	CA	14/09/20

CAR PARKING CALCULATION

LEVEL	NUMBER
LEVEL B4	26
LEVEL B3	26
LEVEL B2	35
LEVEL B1	27
LEVEL GF	1
TOTAL	115

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DRAWING  
FLOOR PLAN - BASEMENT 1

DATE 06/02/16 SCALE @ A3 1 : 200 DRAWN JL/PL  
PROJECT No. 2017151 A DISCP. DA-109 ISSUE 3

PROJECT  
NARWEЕ MIXED USE DEVELOPMENT

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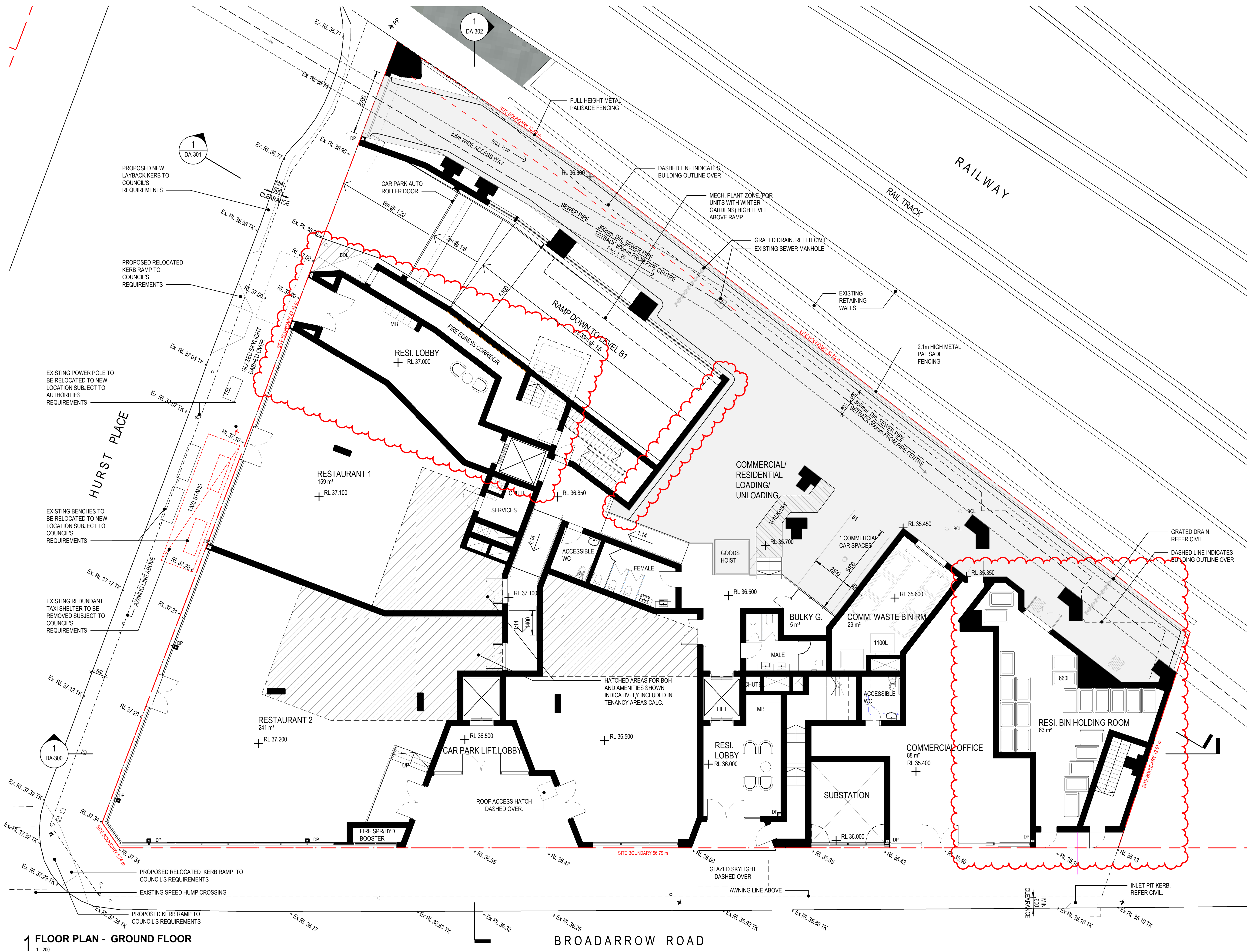
1 FLOOR PLAN - BASEMENT 1

1 : 200



## AMENDMENTS

ISSUE	DESCRIPTION	APPROVED	DATE
1	DA ISSUE	JL	05/11/18
2	REVISED DA ISSUE	JL	22/11/18
3	REVISED DA ISSUE	CA	14/09/20



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## DA ISSUE

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CLIENT  
MR & MRS COSTASDRAWING  
FLOOR PLAN - GROUND  
FLOOR

DATE: 06/02/16 SCALE @ A3: 1:200 DRAWN: JL/PL

PROJECT No. 2017151 A DISC. DA-110 ISSUE 3

PROJECT  
NARWEE MIXED USE DEVELOPMENT

Lot 1, Pier 8-9, 23 Hickson Road  
Walsh Bay New South Wales 2000 Australia  
T 61 2 9290 2722 F 61 2 9290 1150  
E sydney@jacksonteece.com  
Jackson Teece Chesterman Willis Pty Ltd  
Trading as Jackson Teece  
ABN 15 083 837 390  
Nominated Architect: Damian Barker (8192), John Gow (6790), Daniel Hudson (8315)

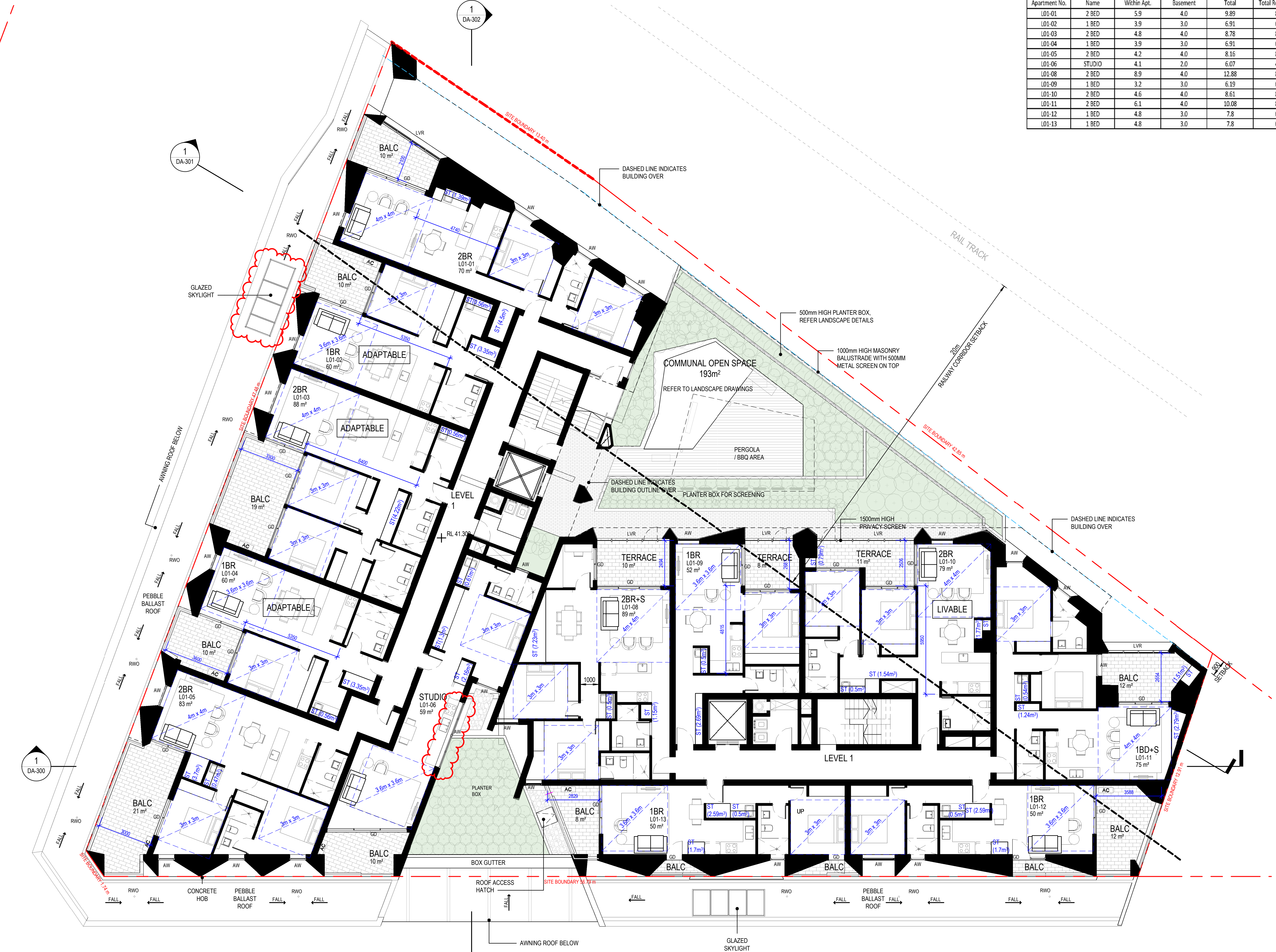
JACKSON TEECE



1 FLOOR PLAN - LEVEL 1

1 : 200

Date generated: 15/09/2020 10:53:50 C:\REVIT\_LOCAL\2017151-JT-B-SHT-AR-18\_V02\_sftzgerald.rvt AM



LEVEL 1					
Storage (m <sup>2</sup> )					
Apartment No.	Name	Within Apt.	Basement	Total	Total Req. ADC
L01-01	2 BED	5.9	4.0	9.89	8
L01-02	1 BED	3.9	3.0	6.91	6
L01-03	2 BED	4.8	4.0	8.78	8
L01-04	1 BED	3.9	3.0	6.91	6
L01-05	2 BED	4.2	4.0	8.16	8
L01-06	STUDIO	4.1	2.0	6.07	4
L01-08	2 BED	8.9	4.0	12.88	8
L01-09	1 BED	3.2	3.0	6.19	6
L01-10	2 BED	4.6	4.0	8.61	8
L01-11	2 BED	6.1	4.0	10.08	8
L01-12	1 BED	4.8	3.0	7.8	6
L01-13	1 BED	4.8	3.0	7.8	6

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AMENDMENTS			
ISSUE	DESCRIPTION	APPROVED	DATE
1	DA ISSUE	JL	05/11/18
2	REVISED DA ISSUE	JL	22/11/18
3	REVISED DA ISSUE	CA	14/09/20

LEGEND:

FGL FIXED GLAZED WINDOW

AW AWNING WINDOW

LVR LOUVRE WINDOW

GD GLAZED DOOR

GENERAL NOTE:

FULL HEIGHT FACADE WINDOWS TO APARTMENTS CONSIST OF A FIXED INSULATED SPANDREL PANEL TO 900mm ABOVE FINISHED FLOOR LEVEL WITH AN OPERABLE AWNING WINDOW ABOVE.

THIS DRAWING ISSUE HAS BEEN REVIEWED FOR

DA ISSUE

APPROVED BY: CA CHECKED BY: JL

CLIENT MR & MRS COSTAS

DRAWING FLOOR PLAN - LEVEL 1

DATE 06/02/16 SCALE @ A3 1 : 200 DRAWN JL/PL

PROJECT No. 2017151 A DISCP. DA-111 ISSUE 3

PROJECT NARWEE MIXED USE DEVELOPMENT

Lot 1, Pier 8-9, 23 Hickson Road  
Walsh Bay New South Wales 2000 Australia  
T 61 2 9290 2722 F 61 2 9290 1150  
E sydney@jacksonteece.com  
Jackson Teece Chesterman Willis Pty Ltd  
Trading as Jackson Teece  
ABN 15 683 837 390  
Nominated Architects: Damian Barker (8922), John Gow (6790), Daniel Hudson (8315)

JACKSON TEECE



1 FLOOR PLAN - LEVEL 2

1 : 200

Date generated: 15/09/2020 10:53:57 C:\REVIT\_LOCAL\2017151-JT-B-SHT-AR-18\_V02\_sftzgerald.rvt AM

LEVEL 2					
Storage (m <sup>3</sup> )					
Apartment No.	Name	Within Apt.	Basement	Total	Total Req. ADG
L02-01	1 BED	4.3	3.0	7.26	6
L02-02	1 BED	3.9	3.0	6.91	6
L02-03	2 BED	4.8	4.0	8.78	8
L02-04	1 BED	3.9	3.0	6.91	6
L02-05	2 BED	4.2	4.0	8.16	8
L02-06	STUDIO	4.1	2.0	6.07	4
L02-07	1 BED	3.2	3.0	6.18	6
L02-08	2 BED	8.9	4.0	12.88	8
L02-09	1 BED	3.2	3.0	6.19	6
L02-10	2 BED	5.7	4.0	9.71	8
L02-11	2 BED	6.5	4.0	10.52	8
L02-12	1 BED	3.1	3.0	6.1	6
L02-13	1 BED	3.1	3.0	6.1	6

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AMENDMENTS

ISSUE	DESCRIPTION	APPROVED	DATE
1	DA ISSUE	JL	05/11/18
2	REVISED DA ISSUE	JL	29/11/18
3	REVISED DA ISSUE	CA	14/09/20

LEGEND:

FGL FIXED GLAZED WINDOW  
AW AWNING WINDOW  
LVR LOUVRE WINDOW  
GD GLAZED DOOR

GENERAL NOTE:

FULL HEIGHT FACADE WINDOWS TO APARTMENTS  
CONSIST OF A FIXED INSULATED SPANDREL PANEL TO  
900mm ABOVE FINISHED FLOOR LEVEL WITH AN  
OPERABLE AWNING WINDOW ABOVE.

THIS DRAWING ISSUE HAS BEEN REVIEWED FOR

DA ISSUE

APPROVED BY: CA CHECKED BY: JL

CLIENT  
MR & MRS COSTAS

DRAWING  
FLOOR PLAN - LEVEL 2

DATE 09/25/18 SCALE @ A3 1 : 200 DRAWN JL/PL

PROJECT No. 2017151 A DISCP. DA-112 ISSUE 3

PROJECT  
NARWEE MIXED USE DEVELOPMENT

Lot 1, Pier 8-9, 23 Hickson Road  
Walsh Bay New South Wales 2000 Australia  
T 61 2 9290 2722 F 61 2 9290 1150  
E sydney@jacksonteece.com  
Jackson Teece Chesterman Willis Pty Ltd  
Trading as Jackson Teece  
ABN 15 683 837 390  
Nominated Architects: Damian Barker (8922), John Gow (6790), Daniel Hudson (8315)

JACKSON TEECE



1 FLOOR PLAN - LEVEL 3  
1 : 200

Date generated: 15/09/2020 10:54:04 C:\REVIT\_LOCAL\2017151-JT-B-SHT-AR-18\_V02\_sftzgerald.rvt  
AM

LEVEL 3					
Storage (m <sup>2</sup> )					
Apartment No.	Name	Within Apt.	Basement	Total	Total Req. ADG
L03-01	2 BED	4.8	4.0	8.82	8
L03-02	1 BED	3.0	3.0	5.97	6
L03-03	2 BED	4.2	4.0	8.24	8
L03-04	3 BED	5.1	5.0	10.09	10
L03-05	2 BED	8.9	4.0	12.88	8
L03-06	1 BED	3.2	3.0	6.19	6
L03-07	2 BED	5.7	4.0	9.71	8
L03-08	2 BED	6.5	4.0	10.52	8

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AMENDMENTS

ISSUE	DESCRIPTION	APPROVED	DATE
1	DA ISSUE	JL	05/11/18
2	REVISED DA ISSUE	JL	22/11/18
3	REVISED DA ISSUE	CA	14/09/20

LEGEND:

FGL FIXED GLAZED WINDOW  
AW AWNING WINDOW  
LVR LOUVRE WINDOW  
GD GLAZED DOOR

GENERAL NOTE:

FULL HEIGHT FACADE WINDOWS TO APARTMENTS  
CONSIST OF A FIXED INSULATED SPANDREL PANEL TO  
900mm ABOVE FINISHED FLOOR LEVEL WITH AN  
OPERABLE AWNING WINDOW ABOVE.

THIS DRAWING ISSUE HAS BEEN REVIEWED FOR

DA ISSUE

APPROVED BY: CA  
CLIENT  
MR & MRS COSTAS

CHECKED BY: JL

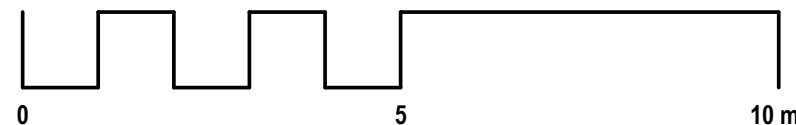
DRAWING  
FLOOR PLAN - LEVEL 3

DATE 06/02/16 SCALE @ A3 1 : 200 DRAWN JL/PL  
PROJECT No. 2017151 A DISCP. DA-113 ISSUE 3

PROJECT  
NARWEE MIXED USE DEVELOPMENT

Lot 1, Pier 8-9, 23 Hickson Road  
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T 61 2 9290 2722 F 61 2 9290 1150  
E sydney@jacksonteece.com  
Jackson Teece Chesterman Willis Pty Ltd  
Trading as Jackson Teece  
ABN 15 083 837 390  
Nominated Architect: Damian Barker (8192), John Gow (6790), Daniel Hudson (8315)

JACKSON TEECE





1 FLOOR PLAN - LEVEL 4 - 6 (TYPICAL)

1:200

LEVEL 4					
Storage (m <sup>3</sup> )					
Apartment No.	Name	Within Apt.	Basement	Total	Total Req. ADG
L04-01	2 BED	4.8	4.0	8.82	8
L04-02	1 BED	3.0	3.0	5.97	6
L04-03	2 BED	5.5	4.0	9.53	8
L04-04	3 BED	5.1	5.0	10.09	10
L04-05	2 BED	8.9	4.0	12.88	8
L04-06	1 BED	3.2	3.0	6.19	6
L04-07	2 BED	5.7	4.0	9.71	8
L04-08	2 BED	6.5	4.0	10.52	8

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AMENDMENTS

ISSUE	DESCRIPTION	APPROVED	DATE
1	DA ISSUE	JL	05/11/18
2	REVISED DA ISSUE	JL	22/11/18
3	REVISED DA ISSUE	CA	14/09/20

LEGEND:

- FGL FIXED GLAZED WINDOW  
AW AWNING WINDOW  
LVR LOUVRE WINDOW  
GD GLAZED DOOR

GENERAL NOTE:

FULL HEIGHT FACADE WINDOWS TO APARTMENTS  
CONSIST OF A FIXED INSULATED SPANDREL PANEL TO  
900mm ABOVE FINISHED FLOOR LEVEL WITH AN  
OPERABLE AWNING WINDOW ABOVE.

THIS DRAWING ISSUE HAS BEEN REVIEWED FOR

DA ISSUE

APPROVED BY: CA CHECKED BY: JL

CLIENT  
MR & MRS COSTAS

DRAWING  
FLOOR PLAN - LEVEL 4-6

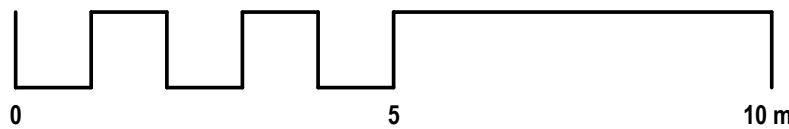
DATE 08/28/18 SCALE @ A3 1:200 DRAWN JL/PL

PROJECT No. 2017151 A DISCP. DA-114 ISSUE 3

PROJECT  
NARWEE MIXED USE DEVELOPMENT

Lot 1, Pier 8-9, 23 Hickson Road  
Walsh Bay New South Wales 2000 Australia  
T 61 2 9290 2722 F 61 2 9290 1150  
E sydney@jacksonteece.com  
Jackson Teece Chesterman Willis Pty Ltd  
Trading as Jackson Teece  
ABN 15 083 837 390  
Nominated Architects: Damian Barker (8192), John Gow (6790), Daniel Hudson (8315)

JACKSON TEECE



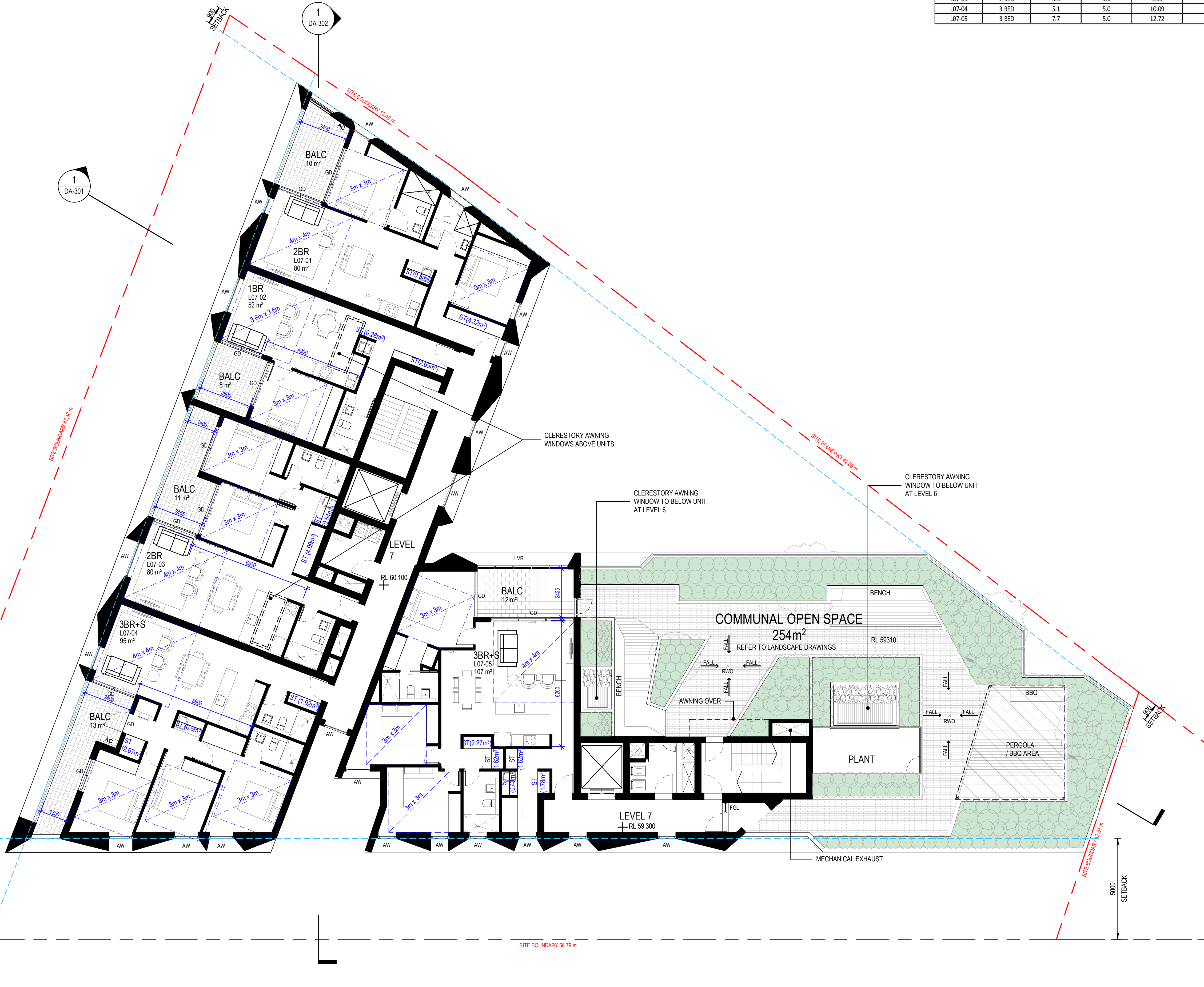


LEVEL 7					
Storage (m <sup>2</sup> )					
Apartment No.	Name	Within Apt.	Basement	Total	Total Req. ADG
L07-01	2 BED	4.8	4.0	8.82	8
L07-02	1 BED	3.0	3.0	5.97	6
L07-03	2 BED	5.5	4.0	9.53	8
L07-04	3 BED	5.1	5.0	10.09	10
L07-05	3 BED	7.7	5.0	12.72	10

AMENDMENTS			
ISSUE	DESCRIPTION	APPROVED	DATE
1	DA ISSUE	JL	05/11/18
2	REVISED DA ISSUE	JL	22/11/18
3	REVISED DA ISSUE	CA	14/09/20

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AMENDMENTS			
ISSUE	DESCRIPTION	APPROVED	DATE
1	DA ISSUE	JL	05/11/18
2	REVISED DA ISSUE	JL	22/11/18
3	REVISED DA ISSUE	CA	14/09/20



LEGEND:

FGL FIXED GLAZED WINDOW  
AW AWNING WINDOW  
LVR LOUVRE WINDOW  
GD GLAZED DOOR

GENERAL NOTE:

FULL HEIGHT FACADE WINDOWS TO APARTMENTS  
CONSIST OF A FIXED INSULATED SPANDREL PANEL TO  
900mm ABOVE FINISHED FLOOR LEVEL WITH AN  
OPERABLE AWNING WINDOW ABOVE.

THIS DRAWING ISSUE HAS BEEN REVIEWED FOR

DA ISSUE

APPROVED BY: CA CHECKED BY: JL

CLIENT  
MR & MRS COSTAS

DRAWING  
FLOOR PLAN - LEVEL 7

DATE 09/25/18 SCALE @ A3 1 : 200 DRAWN JL/PL

PROJECT No. 2017151 A DISCP. DA-115 ISSUE 3

PROJECT  
NARWEE MIXED USE DEVELOPMENT

Lot 1, Pier 8-9, 23 Hickson Road  
Walsh Bay New South Wales 2000 Australia  
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E sydney@jacksonteece.com  
Jackson Teece Chesterman Willis Pty Ltd  
Trading as Jackson Teece  
ABN 15 083 837 390  
Nominated Architect: Damian Barker (8192), John Gow (6790), Daniel Hudson (8315)

JACKSON TEECE



AMENDMENTS

ISSUE	DESCRIPTION	APPROVED	DATE
1	DA ISSUE	JL	05/11/18
2	REVISED DA ISSUE	JL	22/11/19
3	REVISED DA ISSUE	CA	14/09/20

GENERAL NOTE:

FULL HEIGHT FACADE WINDOWS TO APARTMENTS CONSIST OF A FIXED INSULATED SPANDREL PANEL TO 900mm ABOVE FINISHED FLOOR LEVEL WITH AN OPERABLE AWNING WINDOW ABOVE. AWNING WINDOWS ARE 2000mm HIGH WITH AWNING WINDOW HEAD AT 2900mm AFFL.

THIS DRAWING ISSUE HAS BEEN REVIEWED FOR

DA ISSUE

APPROVED BY: CA CHECKED BY: JL

CLIENT MR & MRS COSTAS

DRAWING ROOF PLAN

DATE 06/02/16 SCALE @ A3 1 : 200 DRAWN JL/PL

PROJECT No. 2017151 A DISCP. DA-121 ISSUE 3

PROJECT NARWEE MIXED USE DEVELOPMENT

Lot 1, Pier 8-9, 23 Hickson Road  
Walsh Bay New South Wales 2000 Australia  
T 61 2 9290 2722 F 61 2 9290 1150  
E sydney@jacksonteece.com  
Jackson Teece Chesterman Willis Pty Ltd  
Trading as Jackson Teece  
ABN 15 083 837 390  
Nominated Architects: Damian Barker (8192), John Gow (6790), Daniel Hudson (8315)

JACKSON TEECE

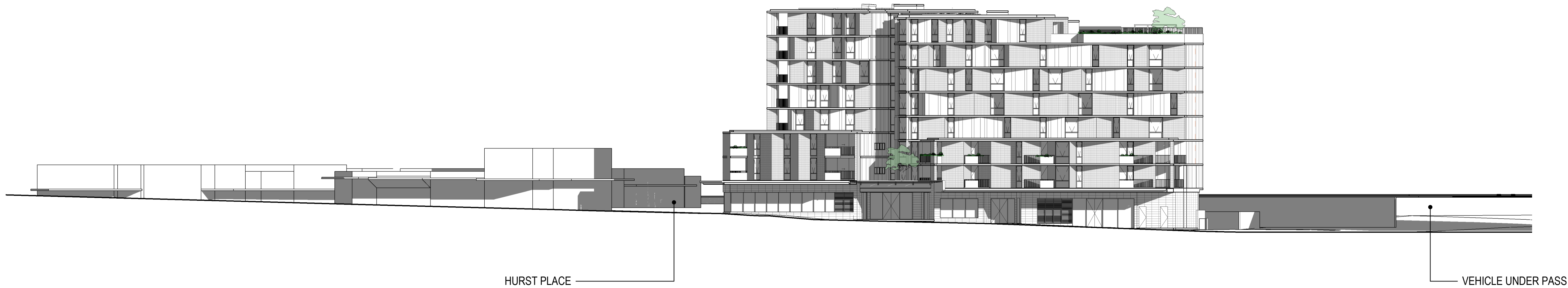
1 ROOF PLAN

1 : 200



AMENDMENTS

ISSUE	DESCRIPTION	APPROVED	DATE
1	DA ISSUE	JL	02/11/18
2	REVISED DA ISSUE	JL	22/11/19
3	REVISED DA ISSUE	CA	14/09/20



1 STREET ELEVATION - BROADARROW ROAD

1 : 600



2 STREET ELEVATION - HURST PLACE

1 : 600

THIS DRAWING ISSUE HAS BEEN REVIEWED FOR

DA ISSUE

APPROVED BY: CA CHECKED BY: JL

CLIENT  
MR & MRS COSTAS

DRAWING  
STREETSCAPE ELEVATIONS

DATE	SCALE @ A3	DRAWN
06/02/16	1 : 600	JL/PL
PROJECT No.	DRAWING No.	ISSUE
2017151	DA-200	3

PROJECT  
NARWEE MIXED USE DEVELOPMENT

Lot 1, Pier 8-9, 23 Hickson Road  
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E sydney@jacksonteece.com  
Jackson Teece Chesterman Willis Pty Ltd  
Trading as Jackson Teece  
ABN 15 083 837 390  
Nominated Architects: Damian Barker (8192), John Gow (6790), Daniel Hudson (8315)

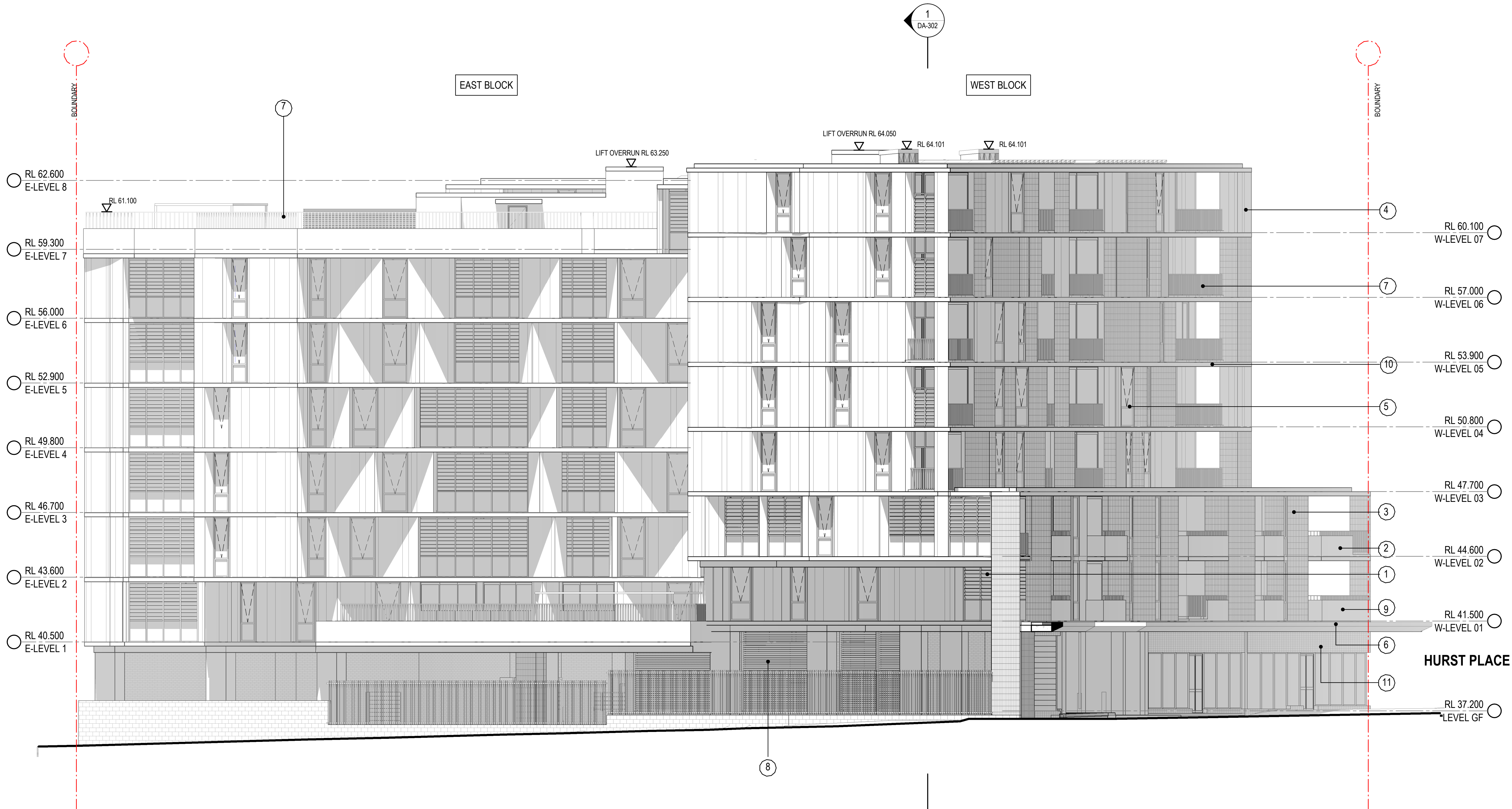
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AMENDMENTS

ISSUE	DESCRIPTION	APPROVED	DATE
1	DA ISSUE	JL	05/11/18
2	REVISED DA ISSUE	JL	22/11/18
3	REVISED DA ISSUE	CA	14/09/20



GENERAL NOTE:  
FULL HEIGHT FACADE WINDOWS TO APARTMENTS  
CONSIST OF A FIXED SPANDREL PANEL TO 900mm ABOVE  
FINISHED FLOOR LEVEL WITH AN OPERABLE AWNING  
WINDOW ABOVE.

THIS DRAWING ISSUE HAS BEEN REVIEWED FOR

DA ISSUE

APPROVED BY: CA  
CHECKED BY: JL  
CLIENT  
MR & MRS COSTAS

DRAWING  
ELEVATIONS - 01

DATE	SCALE @ A3	DRAWN	
06/02/16	1 : 200	JL/PL	
PROJECT No.	DISC.	DRAWING No.	ISSUE
2017151 A	DA-201		3
PROJECT NARWEE MIXED USE DEVELOPMENT			

Lot 1, Pier 8-9, 23 Hickson Road  
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T 61 2 9290 2722 F 61 2 9290 1150  
E sydney@jacksonteece.com  
Jackson Teece Chesterman Willis Pty Ltd  
Trading as Jackson Teece  
ABN 15 083 837 390  
Nominated Architect: Damian Barker (8192), John Gow (6790), Daniel Hudson (8315)

JACKSON TEECE



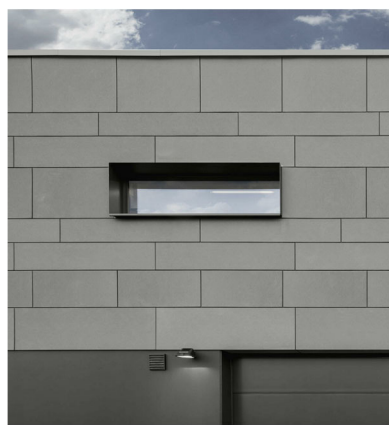
1 - Louvred Glazing



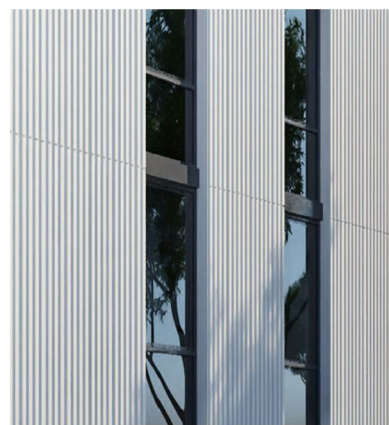
2 - Planter Box



3 - Brick Tiles



4 - Lightweight Cladding



5 - Aluminium Framed Glazing



6 - Awning - Concrete



7 - Aluminium Balustrades/ Fence



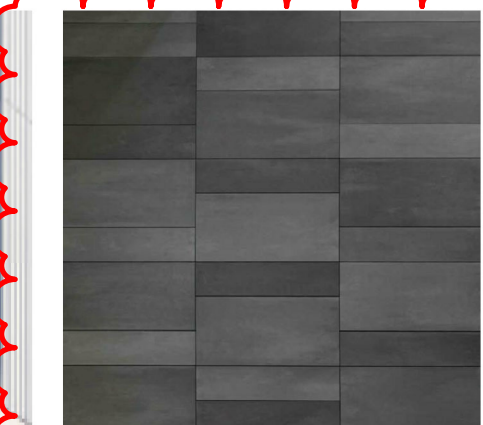
8 - Dark Louvred Panel



9 - Solid Balustrade



10 - Expressed Slab



11 - Grey Feature Tile



AMENDMENTS

ISSUE	DESCRIPTION	APPROVED	DATE
1	DA ISSUE	JL	05/11/18
2	REVISED DA ISSUE	JL	22/11/18
3	REVISED DA ISSUE	CA	14/09/20



1 EAST ELEVATION  
1 : 200

GENERAL NOTE:

FULL HEIGHT FACADE WINDOWS TO APARTMENTS  
CONSIST OF A FIXED SPANDREL PANEL TO 900mm ABOVE  
FINISHED FLOOR LEVEL WITH AN OPERABLE AWNING  
WINDOW ABOVE.

THIS DRAWING ISSUE HAS BEEN REVIEWED FOR

DA ISSUE

APPROVED BY: CA CHECKED BY: JL

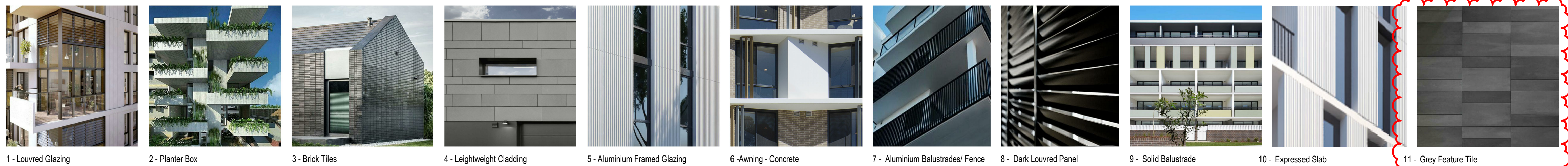
CLIENT  
MR & MRS COSTAS

DRAWING  
ELEVATIONS - 02

DATE	SCALE @ A3	DRAWN	
06/02/16	1 : 200	JL/PL	
PROJECT No.	DISCP.	DRAWING No.	ISSUE
2017151 A	DA-202		3
PROJECT NARWEE MIXED USE DEVELOPMENT			

Lot 1, Pier 8-9, 23 Hickson Road  
Walsh Bay New South Wales 2000 Australia  
T 61 2 9290 2722 F 61 2 9290 1150  
E sydney@jacksonteece.com  
Jackson Teece Chesterman Willis Pty Ltd  
Trading as Jackson Teece  
ABN 15 083 837 390  
Nominated Architects: Damian Barker (8192), John Gow (6790), Daniel Hudson (8315)

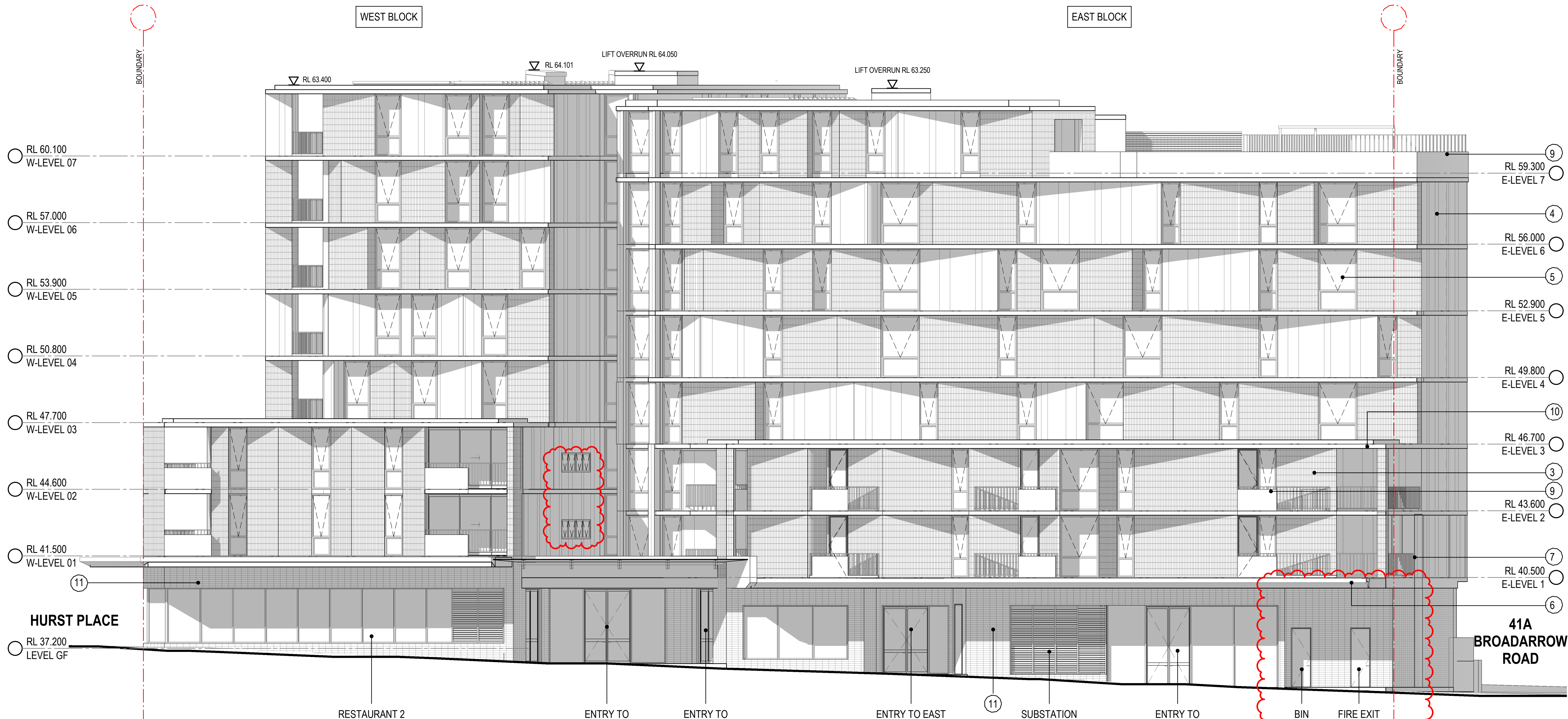
JACKSON TEECE





AMENDMENTS

ISSUE	DESCRIPTION	APPROVED	DATE
1	DA ISSUE	JL	05/11/18
2	REVISED DA ISSUE	JL	22/11/18
3	REVISED DA ISSUE	CA	14/09/20



GENERAL NOTE:  
FULL HEIGHT FACADE WINDOWS TO APARTMENTS  
CONSIST OF A FIXED SPANDREL PANEL TO 900mm ABOVE  
FINISHED FLOOR LEVEL WITH AN OPERABLE AWNING  
WINDOW ABOVE.

THIS DRAWING ISSUE HAS BEEN REVIEWED FOR

DA ISSUE

APPROVED BY: CA CHECKED BY: JL  
CLIENT  
MR & MRS COSTAS

DRAWING  
ELEVATIONS - 03

DATE	SCALE @ A3	DRAWN	
06/02/16	1 : 200	JL/PL	
PROJECT No.	DISC.	DRAWING No.	ISSUE
2017151 A	DA-203		3
PROJECT NARWEE MIXED USE DEVELOPMENT			

Lot 1, Pier 8-9, 23 Hickson Road  
Walsh Bay New South Wales 2000 Australia  
T 61 2 9290 2722 F 61 2 9290 1150  
E sydney@jacksonteece.com  
Jackson Teece Chesterman Willis Pty Ltd  
Trading as Jackson Teece  
ABN 15 083 837 390  
Nominated Architect: Damian Barker (8192), John Gow (6790), Daniel Hudson (8315)

JACKSON TEECE





AMENDMENTS

ISSUE	DESCRIPTION	APPROVED	DATE
1	DA ISSUE	JL	05/11/18
2	REVISED DA ISSUE	JL	22/11/18
3	REVISED DA ISSUE	CA	14/09/20



1 WEST ELEVATION (HURST PLACE)  
1 : 200

GENERAL NOTE:

FULL HEIGHT FACADE WINDOWS TO APARTMENTS  
CONSIST OF A FIXED SPANDREL PANEL TO 900mm ABOVE  
FINISHED FLOOR LEVEL WITH AN OPERABLE AWNING  
WINDOW ABOVE.

THIS DRAWING ISSUE HAS BEEN REVIEWED FOR

DA ISSUE

APPROVED BY: CA  
CHECKED BY: JL

CLIENT  
MR & MRS COSTAS

DRAWING  
ELEVATIONS - 04

DATE	SCALE @ A3	DRAWN	
06/02/16	1 : 200	JL/PI	
PROJECT No.	DISCP.	DRAWING No.	ISSUE
2017151 A	DA-204		3
PROJECT NARWEE MIXED USE DEVELOPMENT			

Lot 1, Pier 8-9, 23 Hickson Road  
Walsh Bay New South Wales 2000 Australia  
T 61 2 9290 2722 F 61 2 9290 1150  
E sydney@jacksonteece.com  
Jackson Teece Chesterman Willis Pty Ltd  
Trading as Jackson Teece  
ABN 15 083 837 390  
Nominated Architects: Damian Barker (8192), John Gow (6790), Daniel Hudson (8315)

JACKSON TEECE





AMENDMENTS

ISSUE	DESCRIPTION	APPROVED	DATE
1	DA ISSUE	JL	05/11/18
2	REVISED DA ISSUE	JL	22/11/18
3	REVISED DA ISSUE	CA	14/09/20



1 SECTION 01  
1 : 200

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SECTION - 01

DATE 06/02/16 SCALE @ A3 1 : 200 DRAWN JL/PL

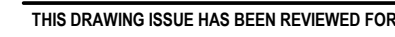
PROJECT No. 2017151 A DISCP. DA-300 ISSUE 3

PROJECT  
NARWEE MIXED USE DEVELOPMENT

Lot 1, Pier 8-9, 23 Hickson Road  
Walsh Bay New South Wales 2000 Australia  
T 61 2 9290 2722 F 61 2 9290 1150  
E sydney@jacksonteece.com  
Jackson Teece Chesterman Willis Pty Ltd  
Trading as Jackson Teece  
ABN 15 083 837 390  
Nominated Architects: Damian Barker (8192), John Gow (6790), Daniel Hudson (8315)

JACKSON TEECE





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DRAWING  
SECTION - 02

PROJECT  
NARWEE MIXED USE DEVELOPMENT

# JACKSON TEECE



AMENDMENTS

ISSUE	DESCRIPTION	APPROVED	DATE
1	DA ISSUE	JL	02/11/18
2	REVISED DA ISSUE	JL	22/11/18
3	REVISED DA ISSUE	CA	14/09/20



1 SECTION 03

1 : 200

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SECTIONS - 03

DATE 06/02/16 SCALE @ A3 1 : 200 DRAWN JL/PL

PROJECT No. 2017151 A DISCP. DA-302 ISSUE 3

PROJECT  
NARWEE MIXED USE DEVELOPMENT

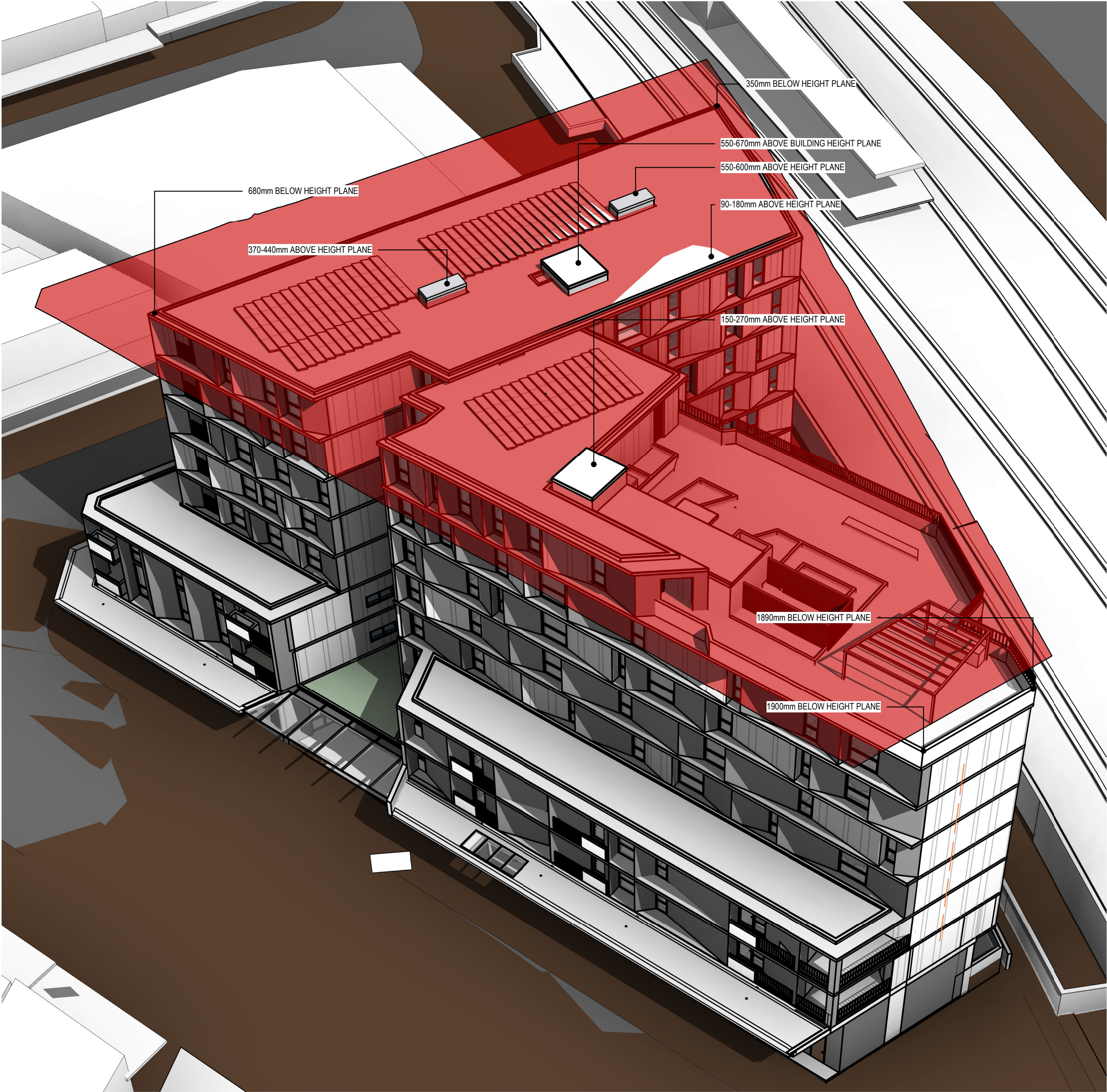
Lot 1, Pier 8-9, 23 Hickson Road  
Walsh Bay New South Wales 2000 Australia  
T 61 2 9290 2722 F 61 2 9290 1150  
E sydney@jacksonteece.com  
Jackson Teece Chesterman Willis Pty Ltd  
Trading as Jackson Teece  
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Nominated Architects: Damian Barker (8192), John Gow (6790), Daniel Hudson (8315)

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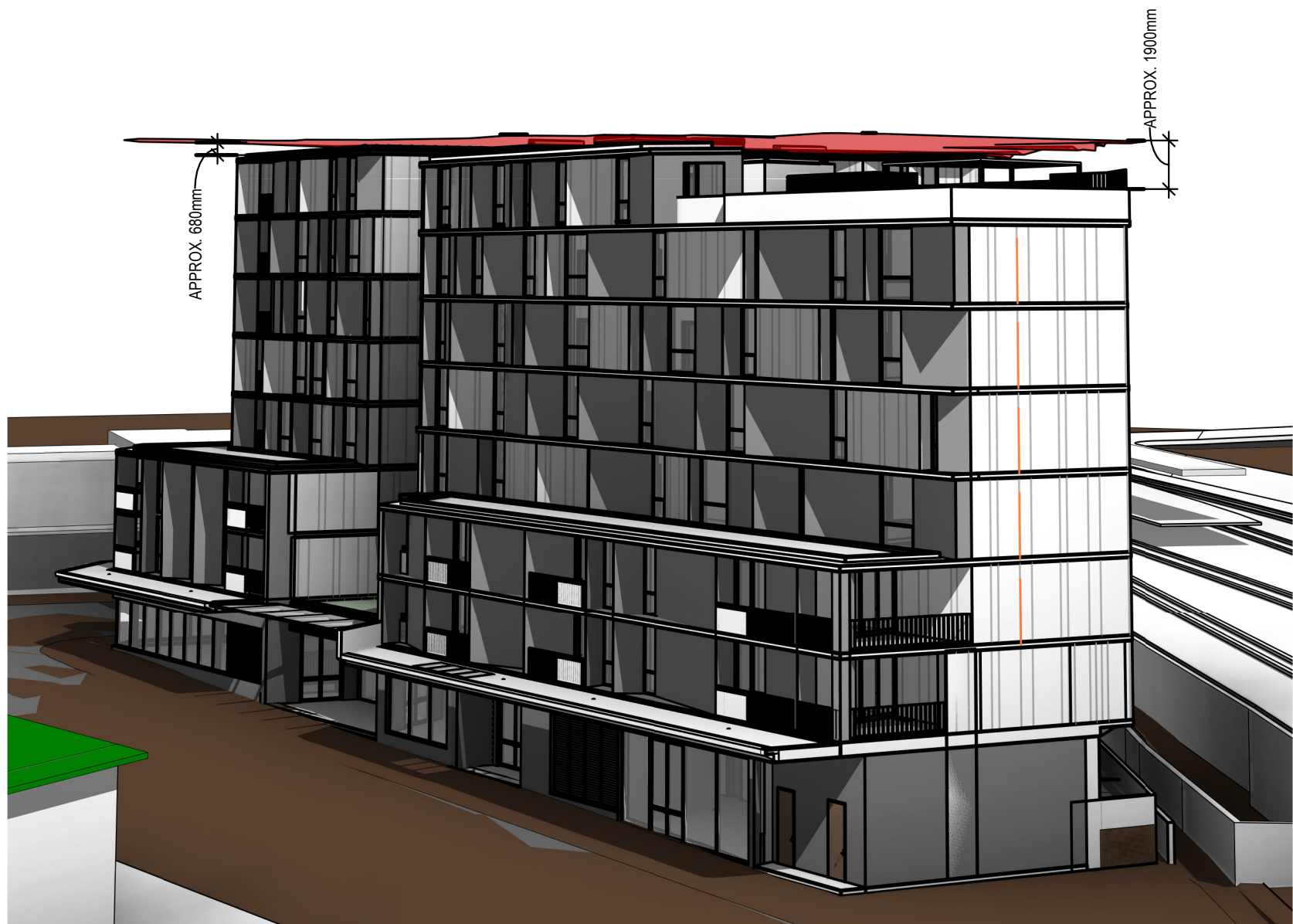


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ISSUE	DESCRIPTION	APPROVED	DATE
1	DA ISSUE	JL	05/11/18
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3	REVISED DA ISSUE	CA	14/09/20



1 HEIGHT PLANE DIAGRAM



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DRAWING  
BUILDING HEIGHT PLANE

DATE 09/05/18 SCALE @ A3 DRAWN JL/PL

PROJECT No. 2017151 DRAWING No. DA-400 ISSUE 3

PROJECT  
NARWEE MIXED USE DEVELOPMENT

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E sydney@jacksonteece.com  
Jackson Teece Chesterman Willis Pty Ltd  
Trading as Jackson Teece  
ABN 15 083 837 390  
Nominated Architects: Damian Barker (8192), John Gow (6790), Daniel Hudson (8315)

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AMENDMENTS

ISSUE	DESCRIPTION	APPROVED	DATE
1	DA ISSUE	JL	05/11/18
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PHOTOMONTAGE VIEW FROM BROADARROW ROAD

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DRAWING  
PHOTOMONTAGES

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PROJECT No.	DRAWING No.	ISSUE
2017151	DA-401	3
PROJECT NARWEE MIXED USE DEVELOPMENT		

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PERSPECTIVE VIEW FROM HURST PLACE



ELEVATIONAL PERSPECTIVE



PERSPECTIVE VIEW FROM RAILWAY LINE



PERSPECTIVE VIEW FROM BROADARROW ROAD

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LIGHTWEIGHT CLADDING SPLIT INTO 4 COLOUR VARIANTS. EACH PANEL HAS DIFFERENT SPACINGS & ARE SEPERATED WITH EXPRESSED VERTICAL JOINTS.

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PERSPECTIVES 01

DATE	SCALE @ A3	DRAWN
06/02/16		JL/PL
PROJECT No.	DRAWING No.	ISSUE
2017151	DA-402	3

PROJECT  
NARWEE MIXED USE DEVELOPMENT

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Nominated Architect: Damian Barker (8192), John Gow (6790), Daniel Hudson (8315)

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PERSPECTIVE VIEW FROM BROADARROW ROAD



PERSPECTIVE VIEW FROM BROADARROW ROAD



PERSPECTIVE VIEW FROM BROADARROW ROAD



PERSPECTIVE VIEW FROM CORNER OF HURST PLACE & BROADARROW ROAD

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PERSPECTIVES 02

DATE 08/29/19 SCALE @ A1 DRAWN JL

PROJECT No. 2017151 DRAWING No. DA-403 ISSUE 2

PROJECT  
NARWEE MIXED USE DEVELOPMENT

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Walsh Bay New South Wales 2000 Australia  
T 61 2 9290 2722 F 61 2 9290 1150  
E sydney@jacksonteece.com  
Jackson Teece Chesterman Willis Pty Ltd  
Trading as Jackson Teece  
ABN 15 083 837 390  
Nominated Architect: Damian Barker (8192), John Gow (6790), Daniel Hudson (8315)

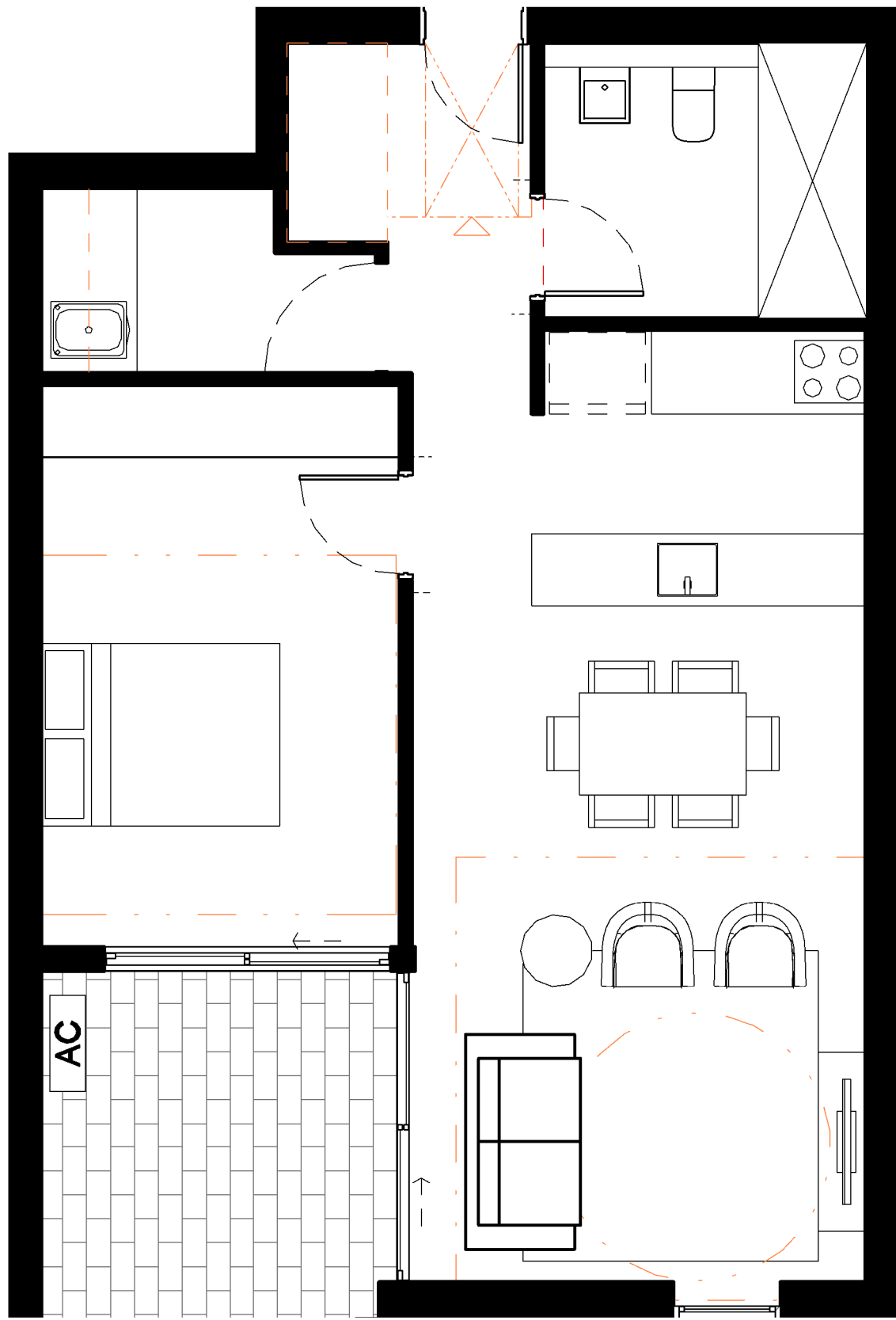
JACKSON TEECE



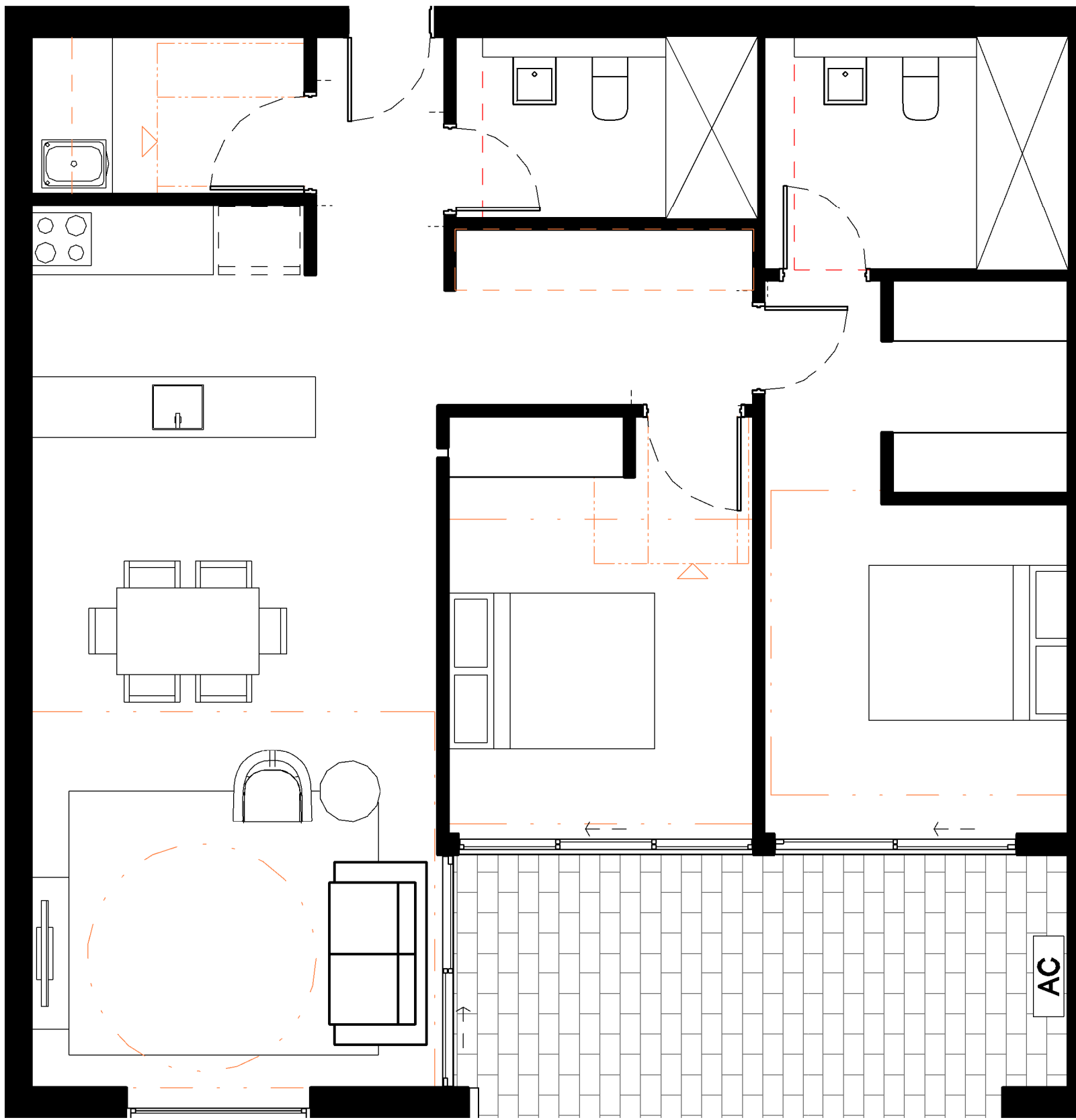
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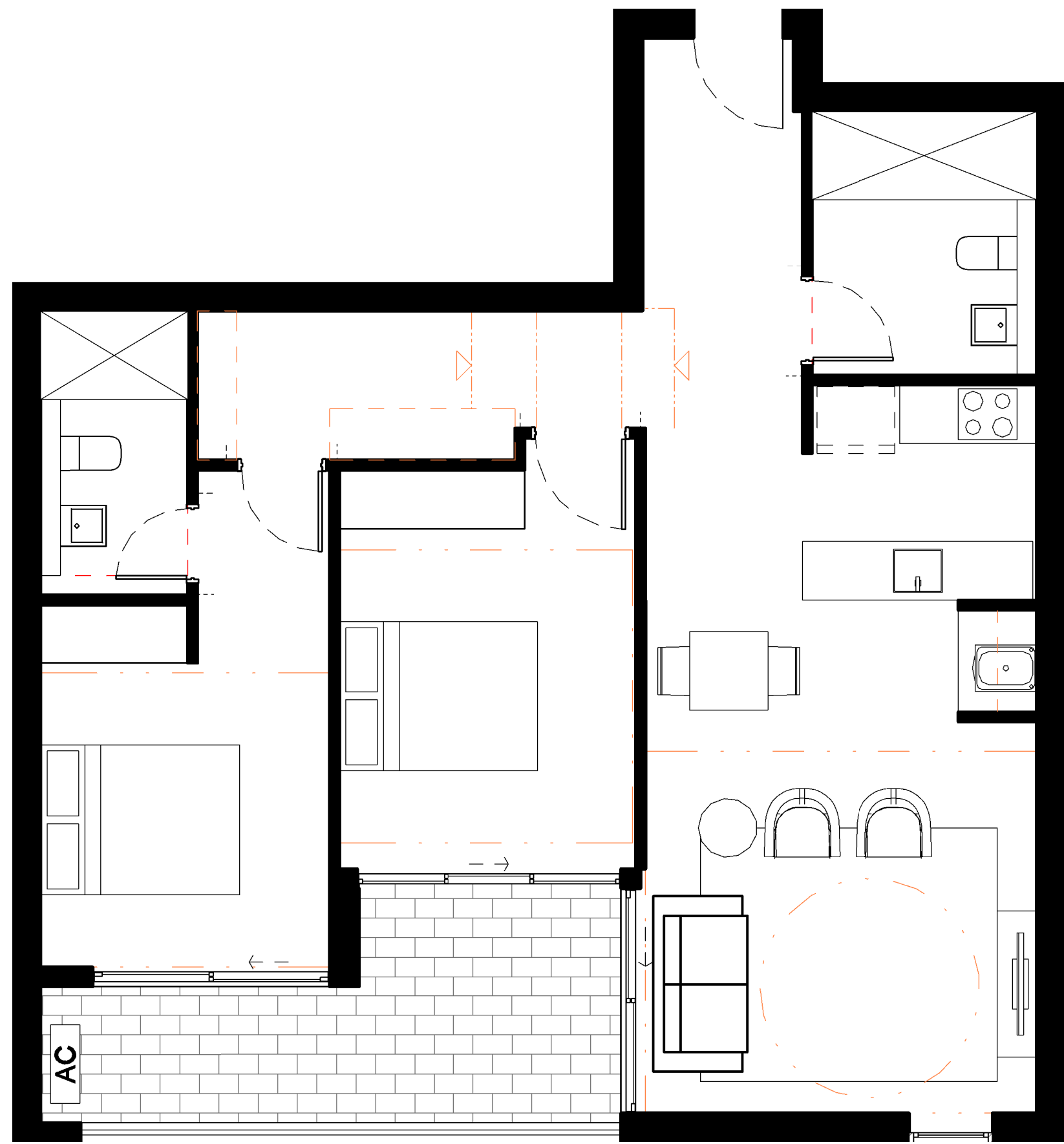
ISSUE	DESCRIPTION	APPROVED	DATE
1	DA ISSUE	JL	05/11/18
2	REVISED DA ISSUE	JL	22/11/18
3	REVISED DA ISSUE	CA	14/09/20



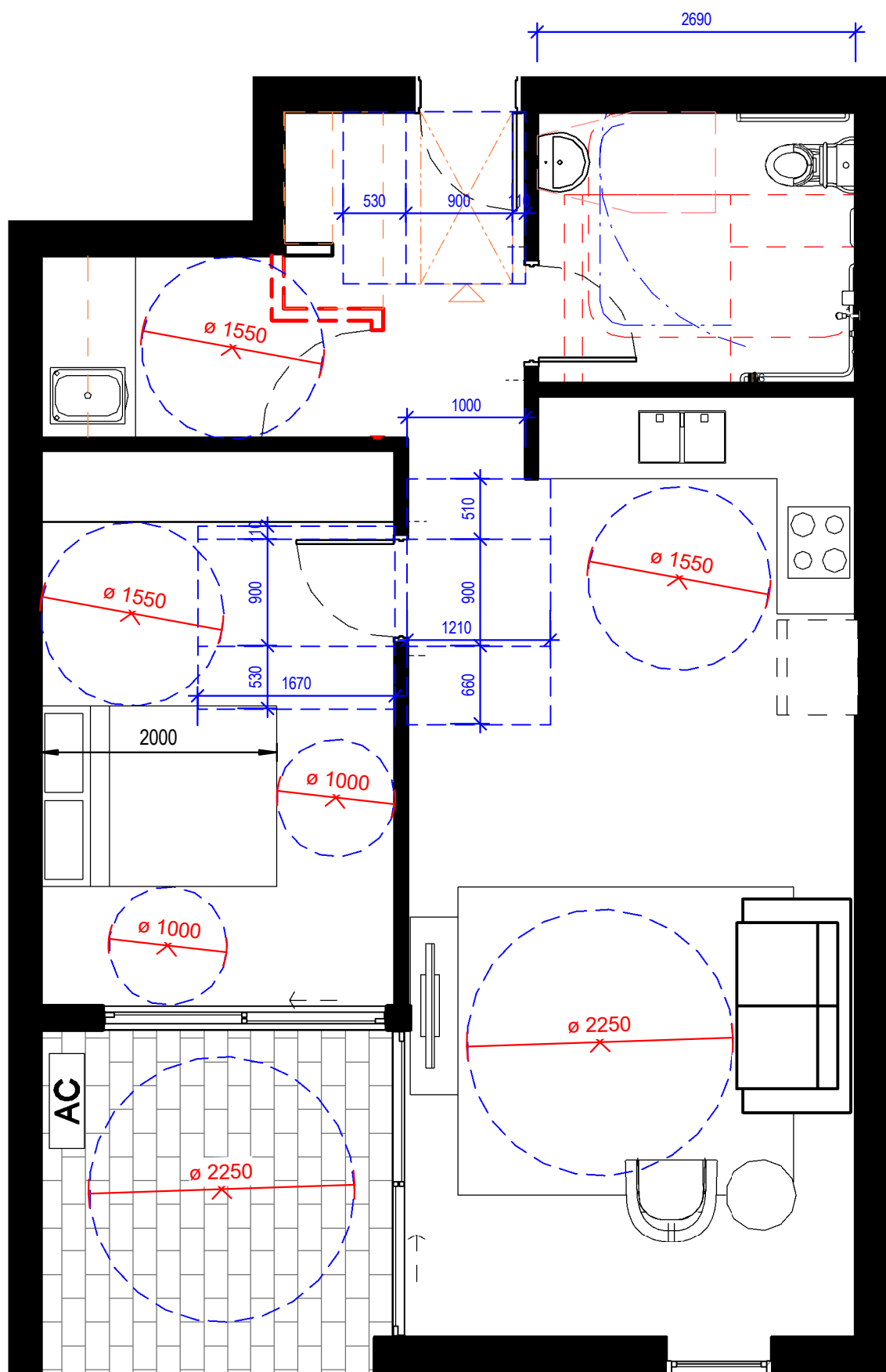
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1:100



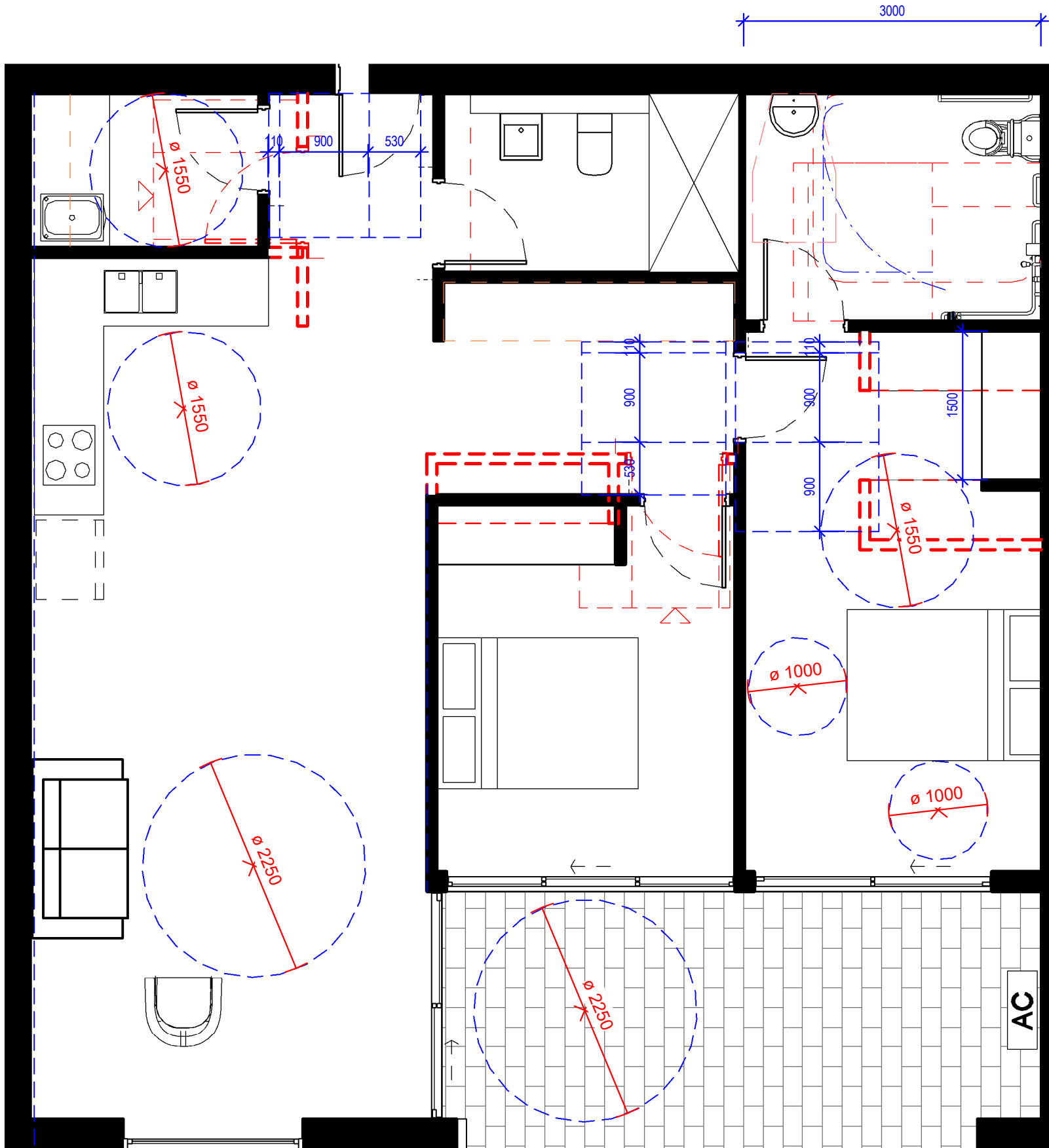
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1:100



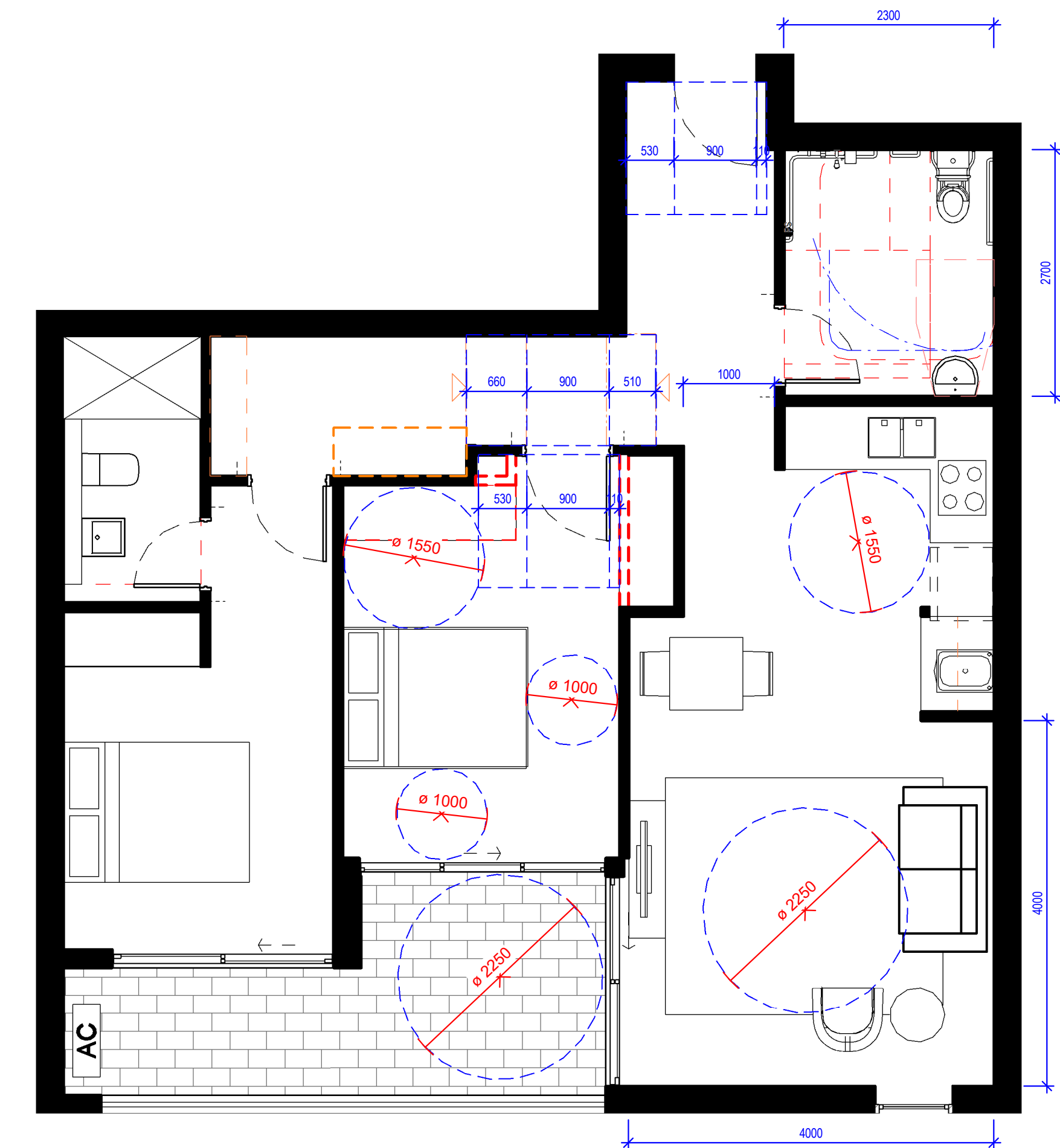
**3 PRE-ADAPT - 2BED (L03-03)**  
1:100



**4 POST-ADAPT - 1BED (L01-02, L01-04, L02-02, L02-04)**  
1:100



**5 POST-ADAPT - 2BED (L01-03, L02-03)**  
1:100



**6 POST-ADAPT - 2BED (L03-03)**  
1:100

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DRAWING  
ADAPTABLE APARTMENT  
LAYOUTS

DATE 09/20/18 SCALE @ A3 1:100 DRAWN JL/PL

PROJECT No. 2017151 A DISCP. DA-501 ISSUE 3

PROJECT  
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Trading as Jackson Teece  
ABN 15 083 837 390  
Nominated Architects: Damian Barker (8192), John Gow (6790), Daniel Hudson (8315)

**JACKSON TEECE**



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ISSUE	DESCRIPTION	APPROVED	DATE
1	DA ISSUE	JL	05/11/18
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3	REVISED DA ISSUE	CA	14/09/20

COMMON OPEN SPACE AREA

LEVEL 1	193m <sup>2</sup>
ROOF TERRACE	252m <sup>2</sup>
TOTAL AREA	445m <sup>2</sup> (26%)

FLOOR SPACE RATIO

SITE AREA	1696m <sup>2</sup>
GFA	6444m <sup>2</sup>
FSR	3.80:1

AREA SCHEDULE (GFA)

LEVEL	GFA
GROUND FLOOR	877 m <sup>2</sup>
LEVEL 1	967 m <sup>2</sup>
LEVEL 2	1073 m <sup>2</sup>
LEVEL 3	757 m <sup>2</sup>
LEVEL 4	757 m <sup>2</sup>
LEVEL 5	756 m <sup>2</sup>
LEVEL 6	756 m <sup>2</sup>
LEVEL 7	501 m <sup>2</sup>
TOTALS	6444 m <sup>2</sup>

APARTMENT MIX

UNIT TYPE	NUMBER	%
1BD+S	1	2%
1BR	21	34%
2BR	26	42%
2BR+S	6	10%
3BR+S	6	10%
STUDIO	2	3%
TOTAL : 62	62	

CAR PARKING CALCULATION

LEVEL	NUMBER
LEVEL B4	26
LEVEL B3	26
LEVEL B2	35
LEVEL B1	27
LEVEL GF	1
TOTAL	115

APARTMENT CALCULATION

NAME	AMOUNT
W-LEVEL 01	
1BD+S	1
1BR	5
2BR	4
2BR+S	1
STUDIO	1
	12
W-LEVEL 02	
1BR	7
2BR	4
2BR+S	1
STUDIO	1
	13
W-LEVEL 03	
1BR	2
2BR	4
2BR+S	1
3BR+S	1
	8
W-LEVEL 04	
1BR	2
2BR	4
2BR+S	1
3BR+S	1
	8
W-LEVEL 05	
1BR	2
2BR	4
2BR+S	1
3BR+S	1
	8
W-LEVEL 06	
1BR	2
2BR	4
2BR+S	1
3BR+S	1
	8
W-LEVEL 07	
1BR	1
2BR	2
3BR+S	2
	5
TOTAL UNITS: 62	62

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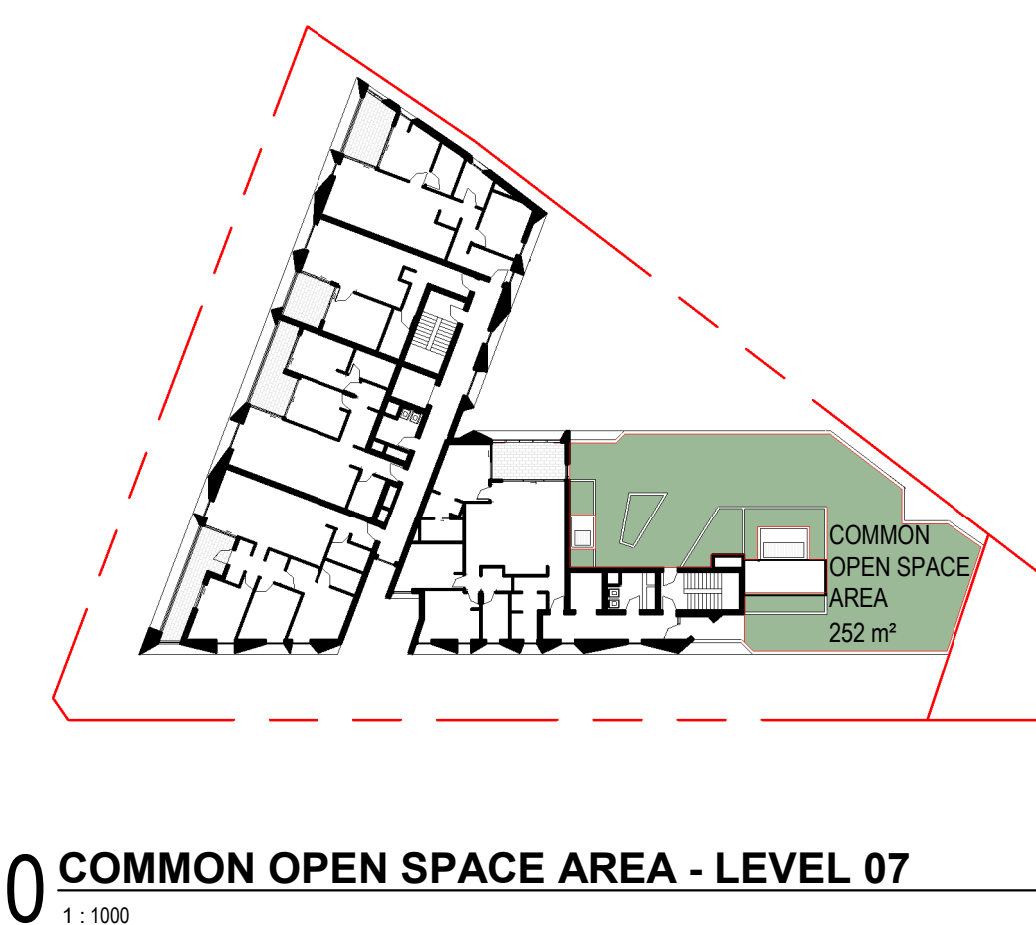
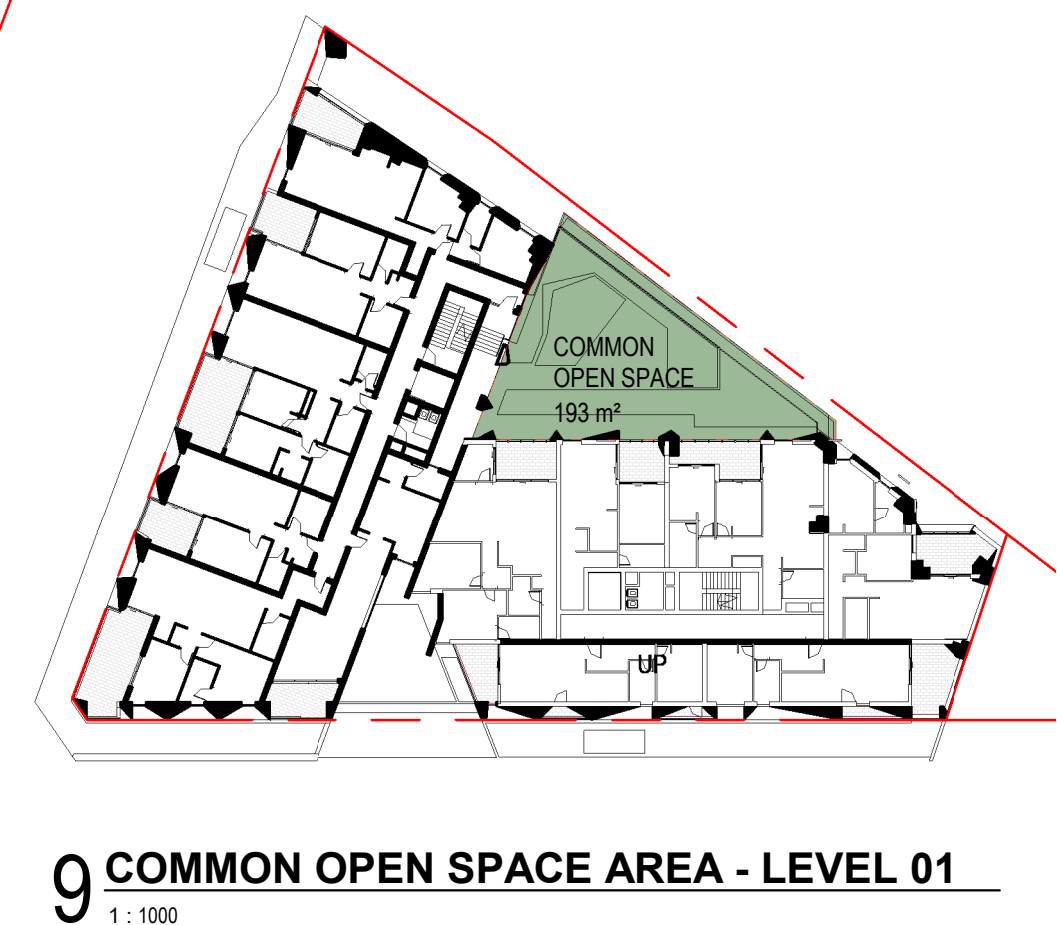
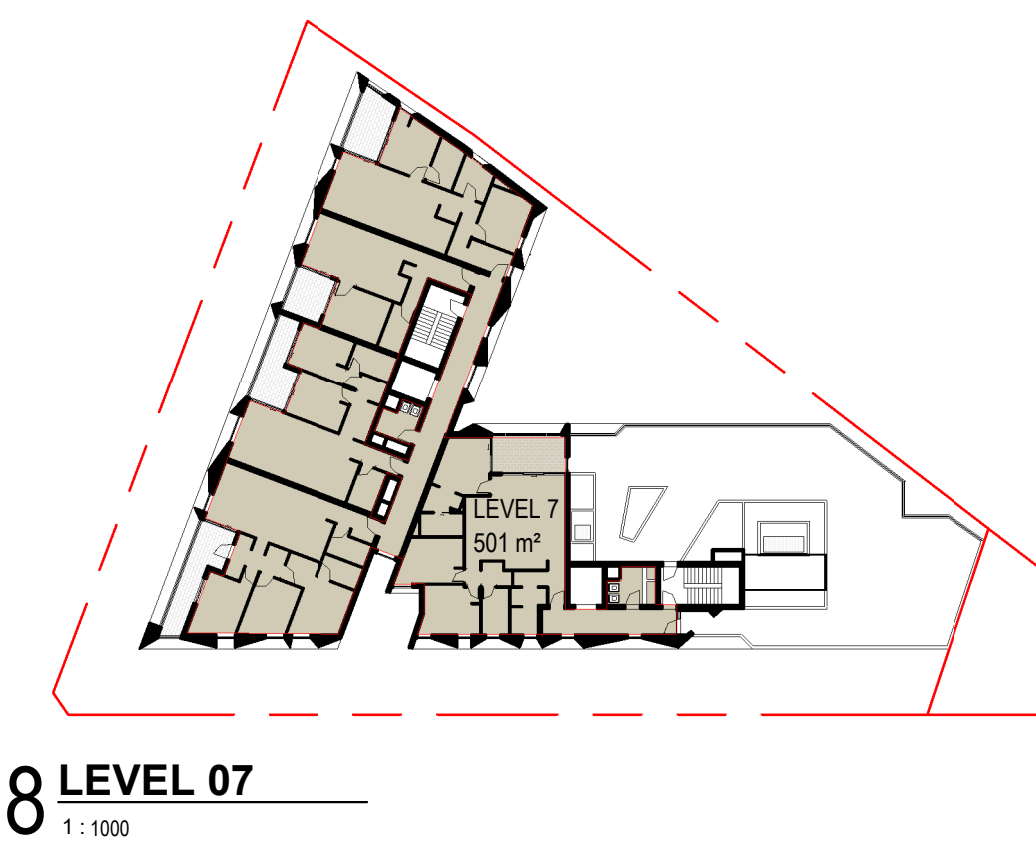
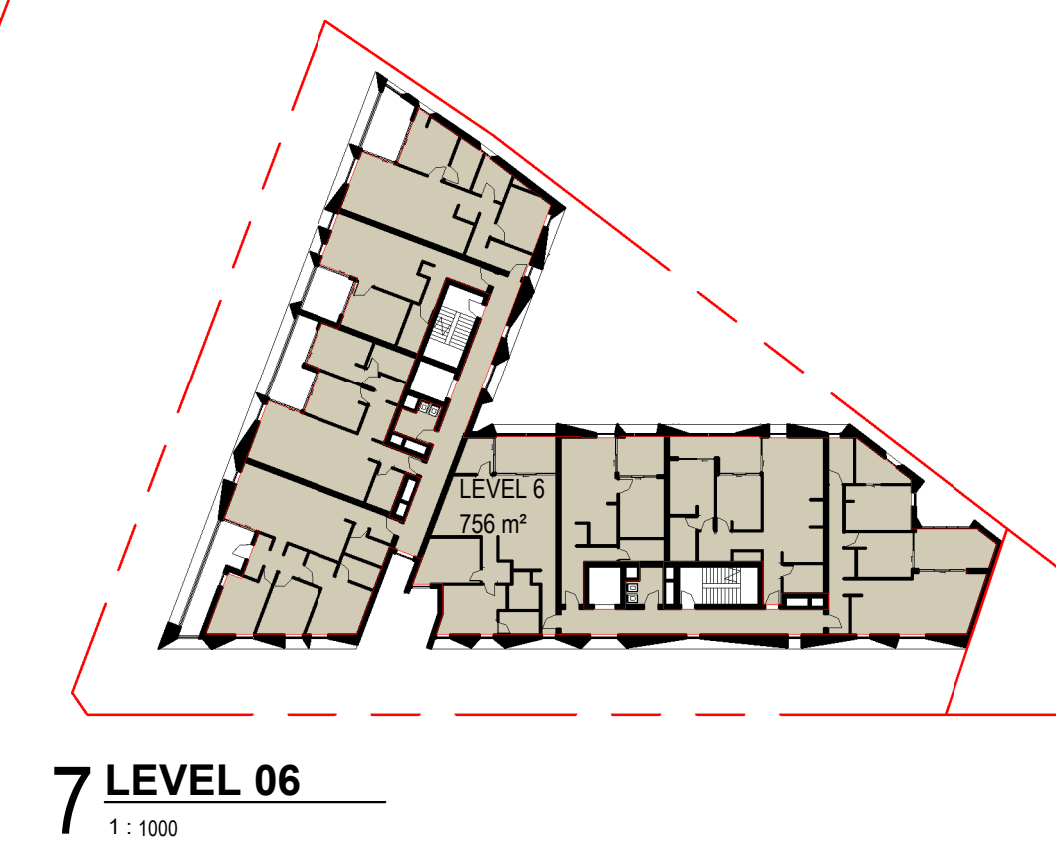
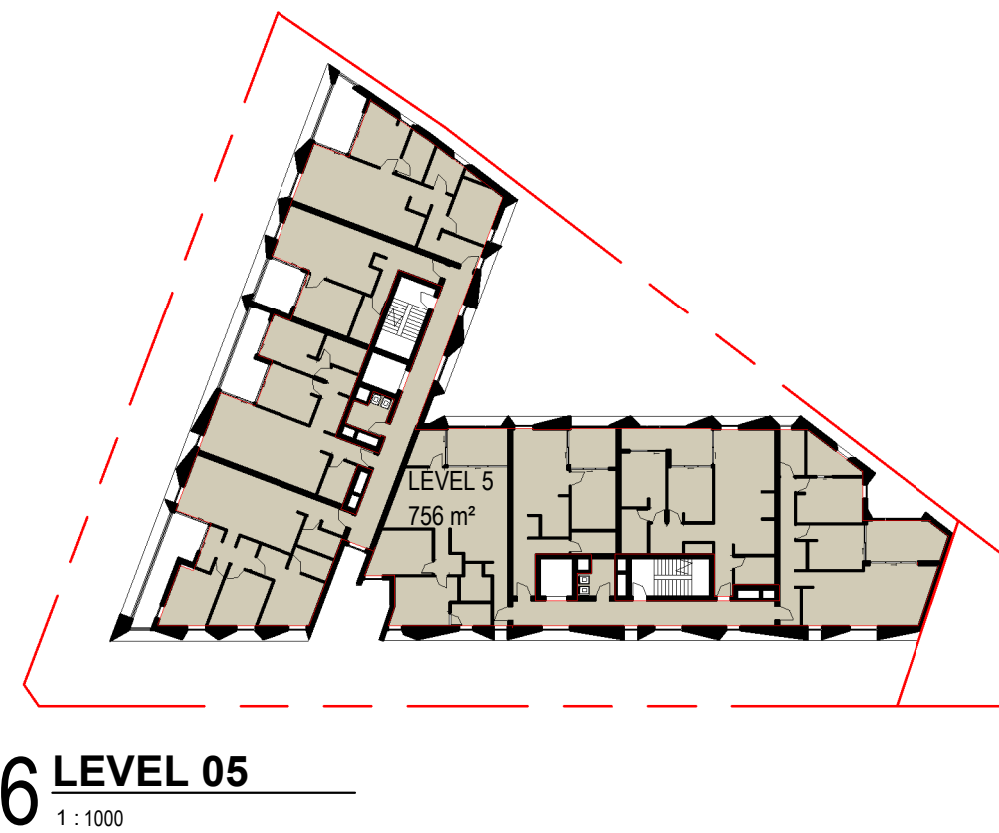
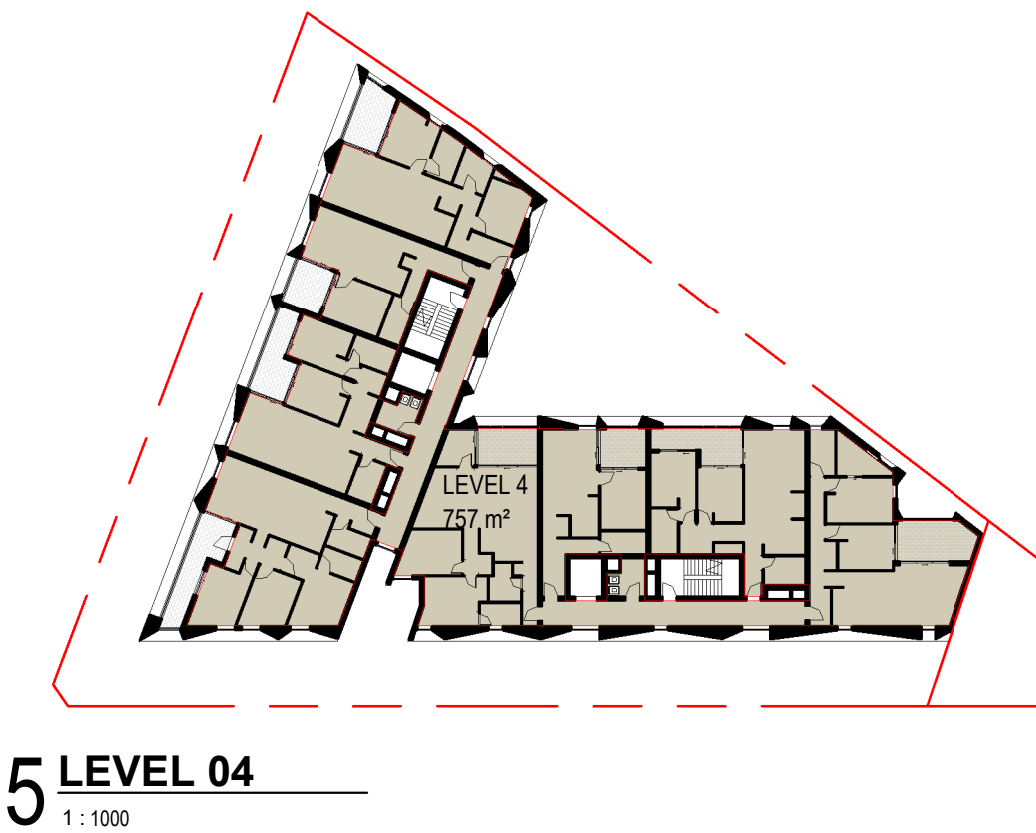
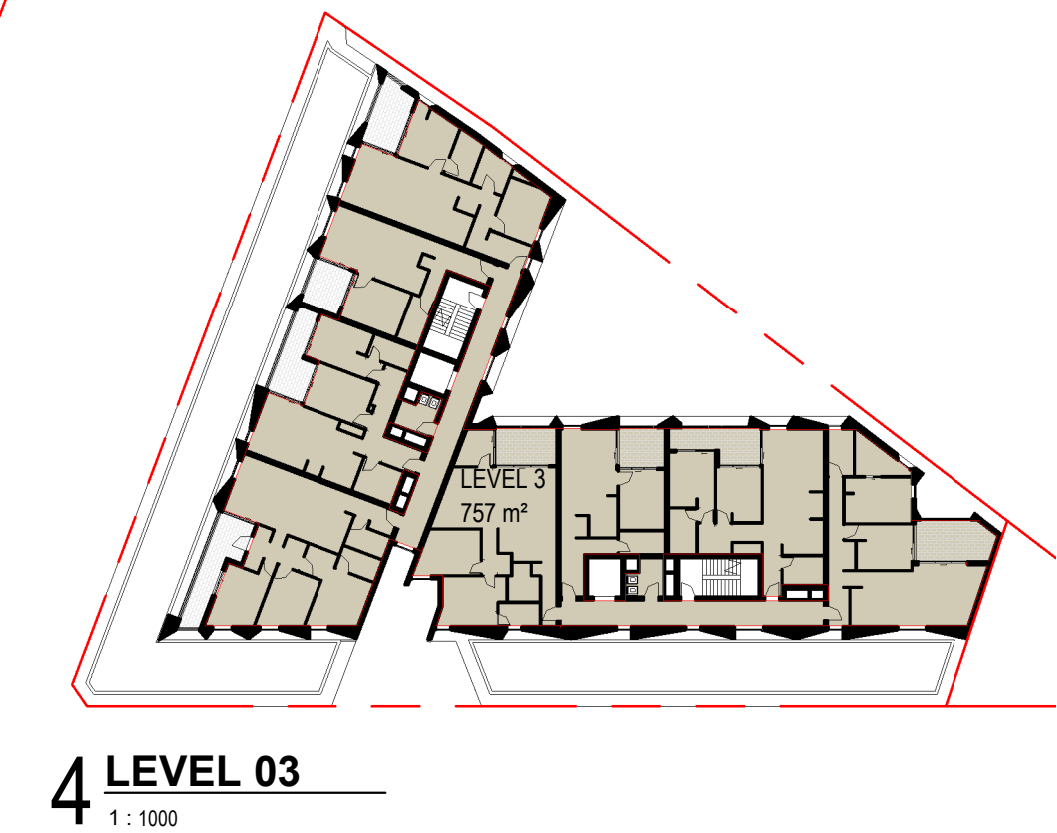
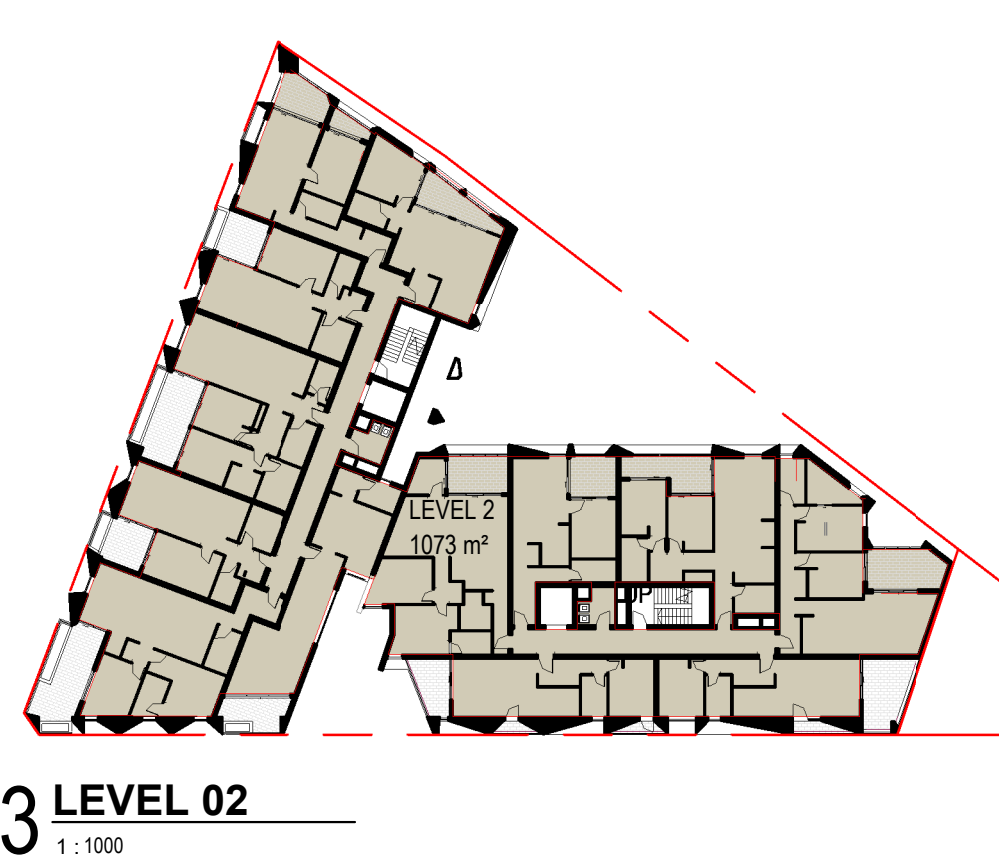
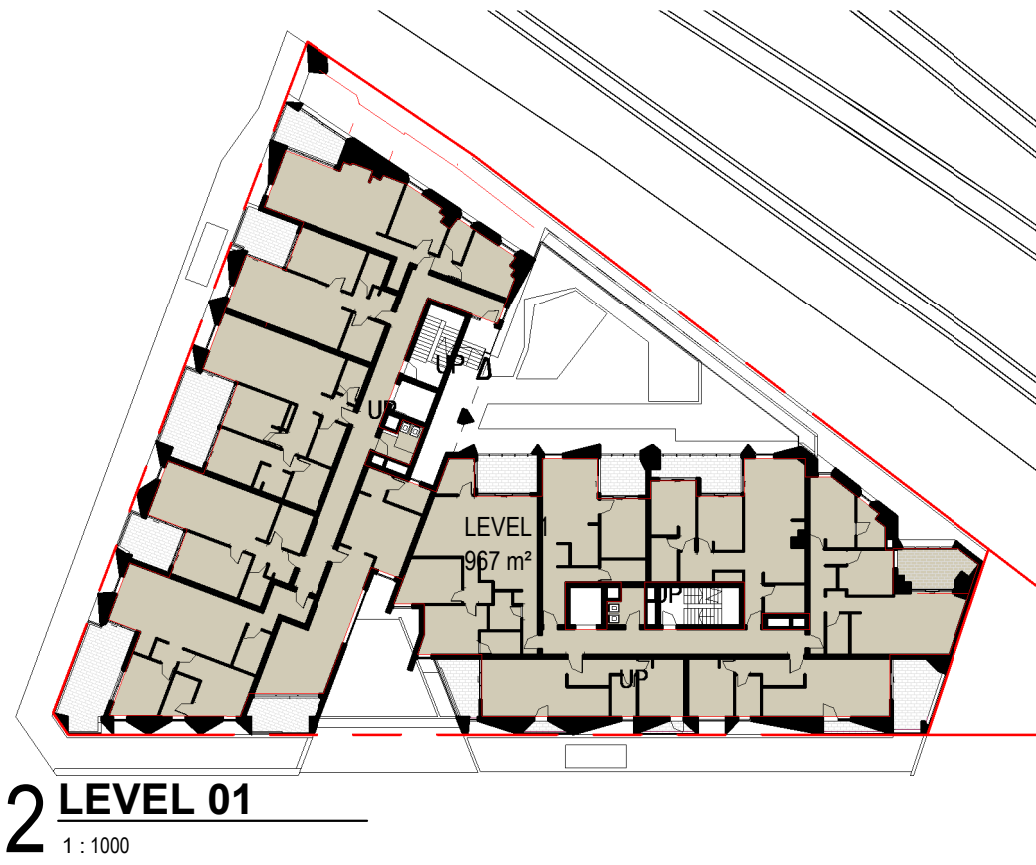
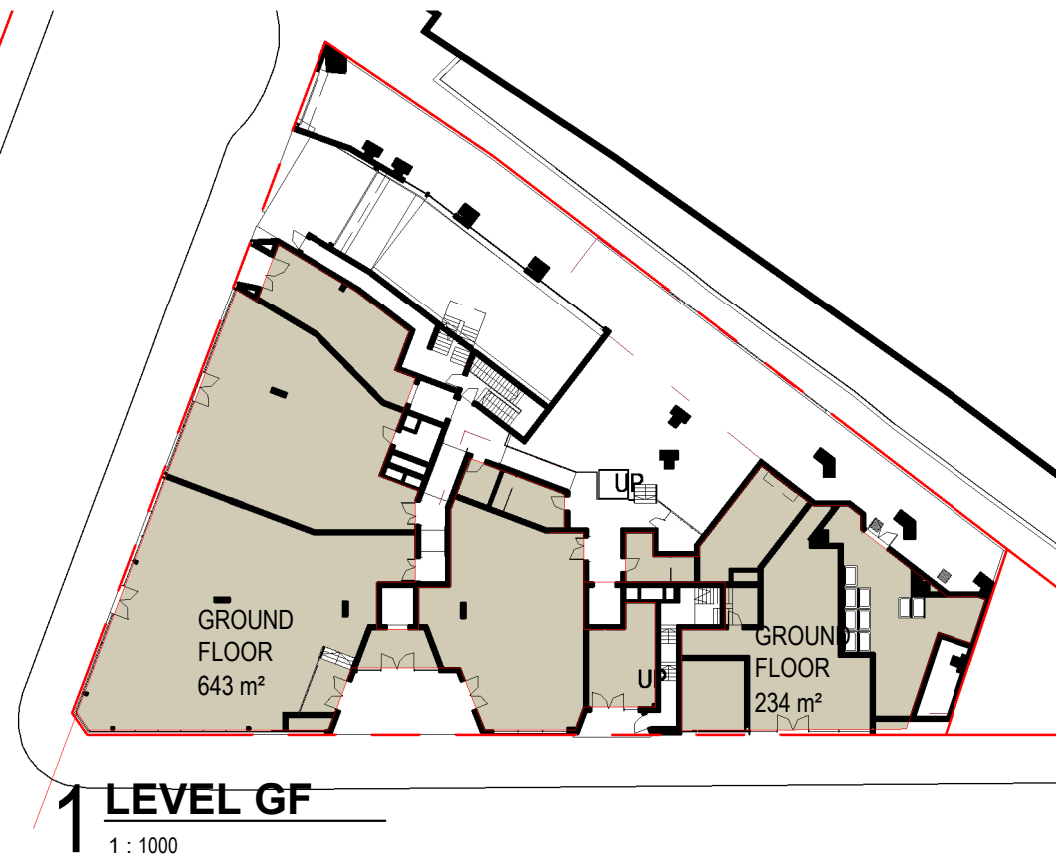
DRAWING  
DEVELOPMENT SUMMARY

DATE	SCALE @ A3	DRAWN
06/03/16	1 : 1000	JL/PL
PROJECT No.	DRAWING No.	ISSUE
2017151	DA-600	3

PROJECT  
NARWEE MIXED USE DEVELOPMENT

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E sydney@jacksonteece.com  
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Trading as Jackson Teece  
ABN 15 083 837 390  
Nominated Architect: Damian Barker (8192), John Gow (6790), Daniel Hudson (8315)

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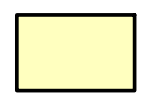

SEPP 65 - SUN CALCULATION SUMMARY

HOURS OF SOLAR ACCESS	COMPLIANT APARTMENTS	%
NO SUN MID WINTER	6	10%
2HRS MID WINTER	56	90%
TOTAL	62	

SEPP 65 - CROSS VENTILATION CALCULATION

CROSS VENT	COMPLIANT APARTMENTS	%
N	24	39%
Y	38	61%
TOTAL	62	

KEY : DIRECT SOLAR LEGEND

	APARTMENTS RECEIVE DIRECT SUN BETWEEN 9AM & 3PM (MINIMUM OF 2 HOURS)
	APARTMENTS DO NOT RECEIVE DIRECT SUN BETWEEN 9AM & 3PM

KEY : CROSS VENTILATION LEGEND

	CROSS VENTILATED
---	------------------

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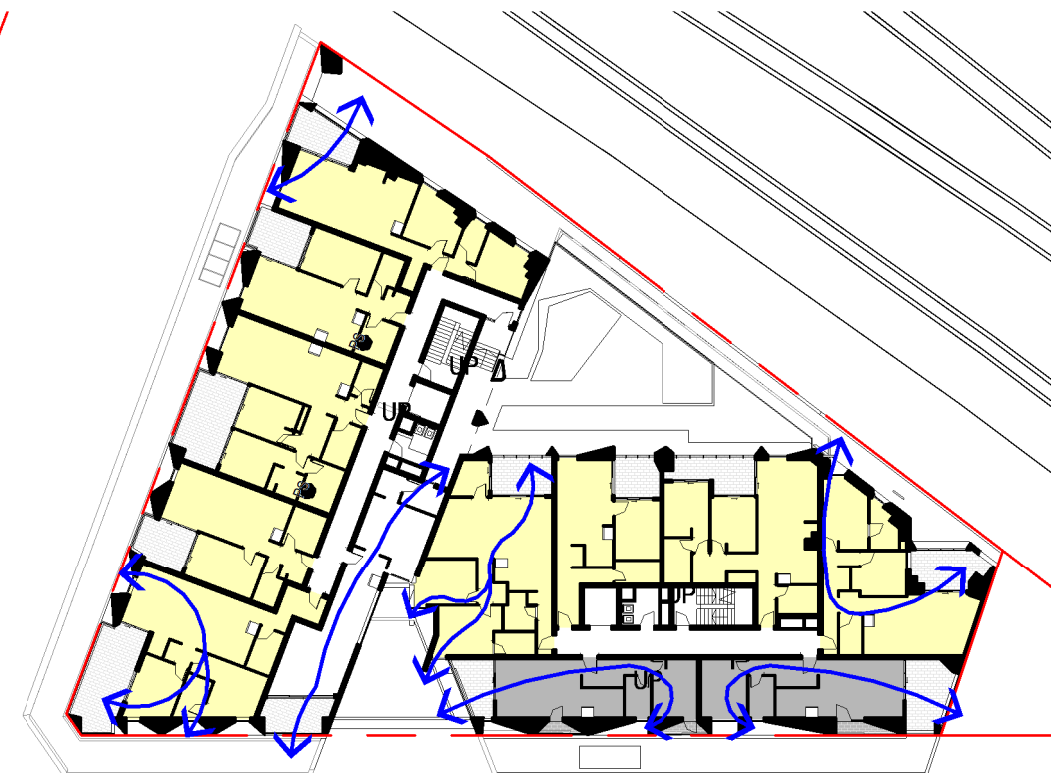
DRAWING  
SOLAR & CROSS VENTILATION  
DIAGRAMS

DATE	SCALE @ A3	DRAWN
06/03/16	1 : 1000	JL/PL
PROJECT No.	DISCP.	DRAWING No.
2017151 A	DA-700	2

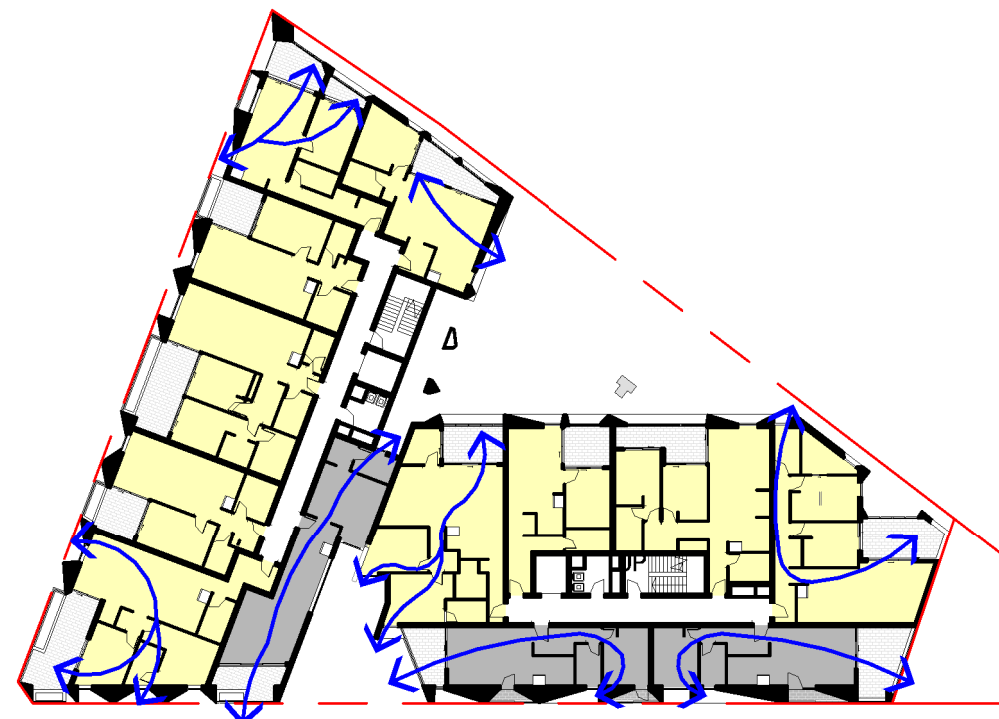
PROJECT  
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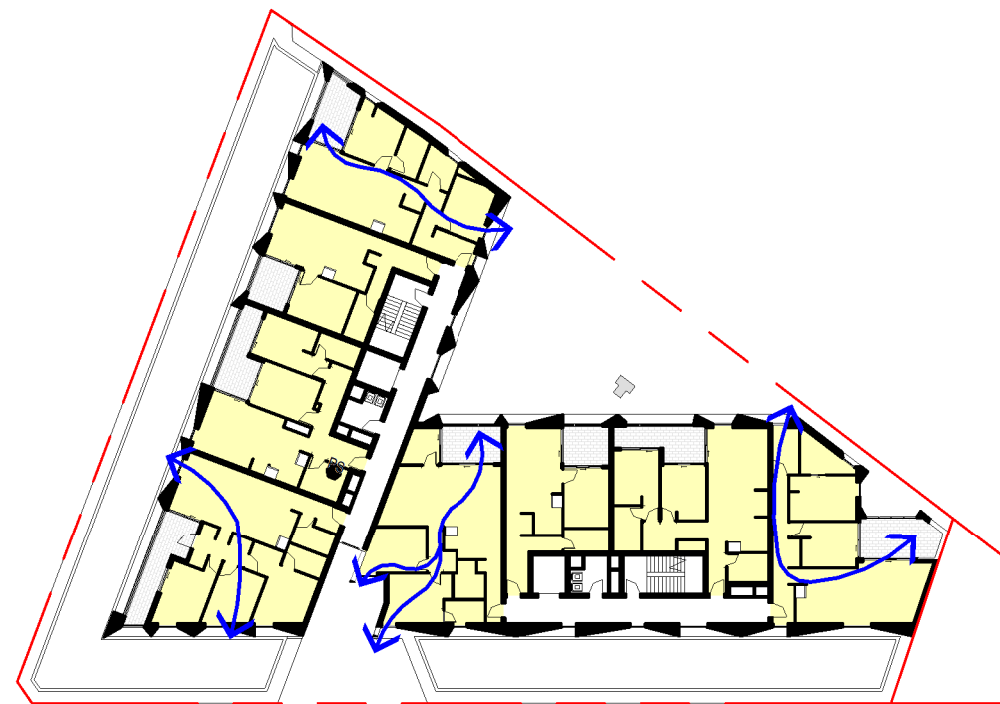
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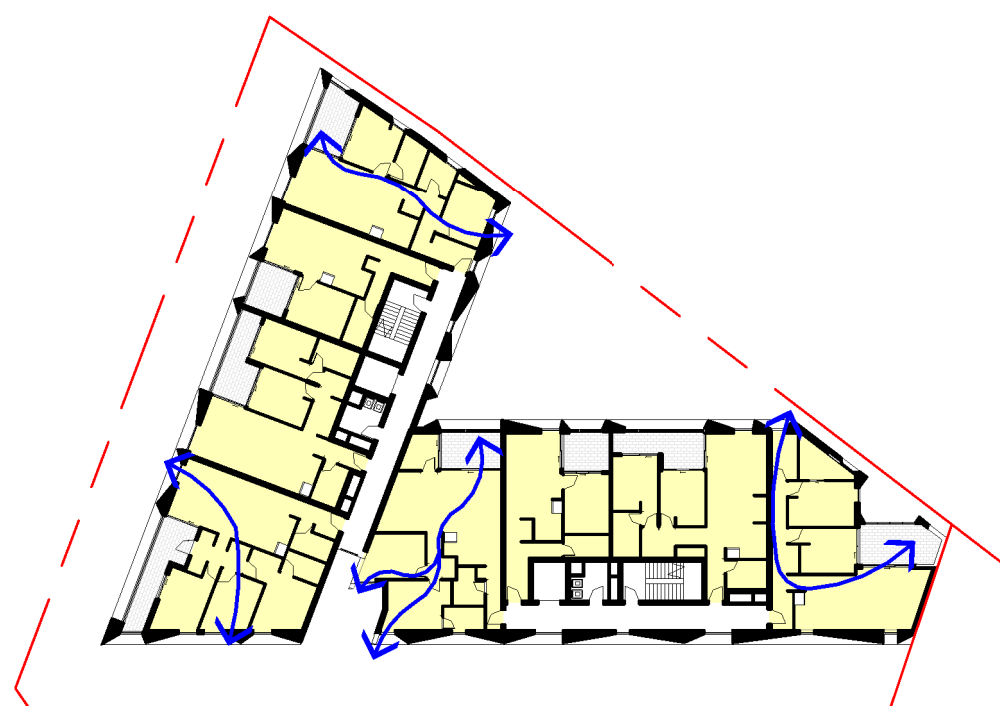
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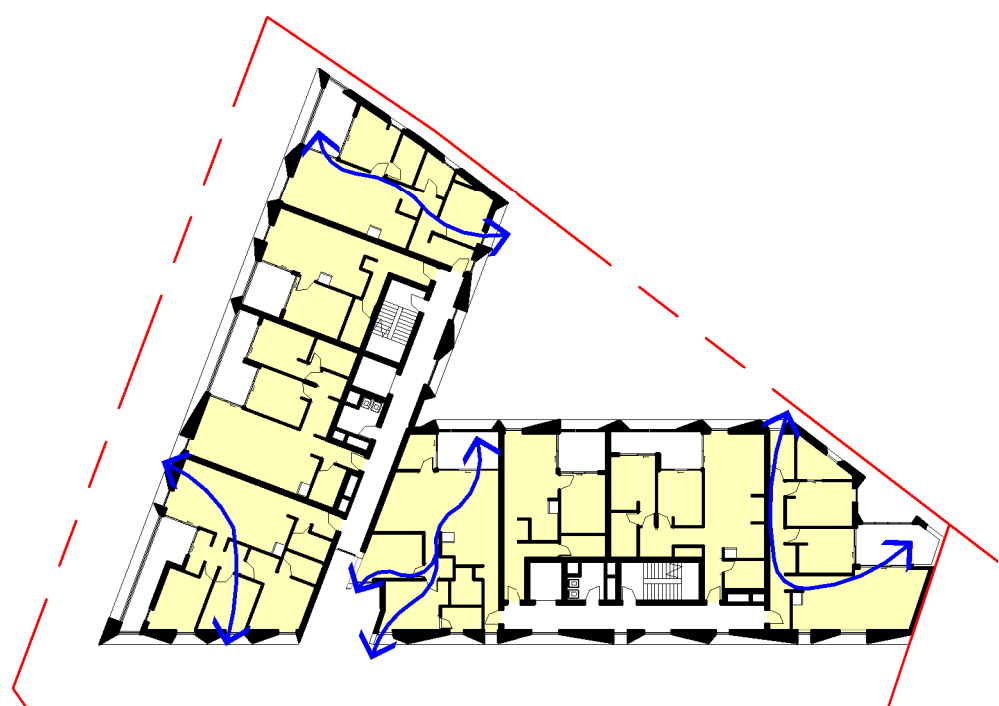
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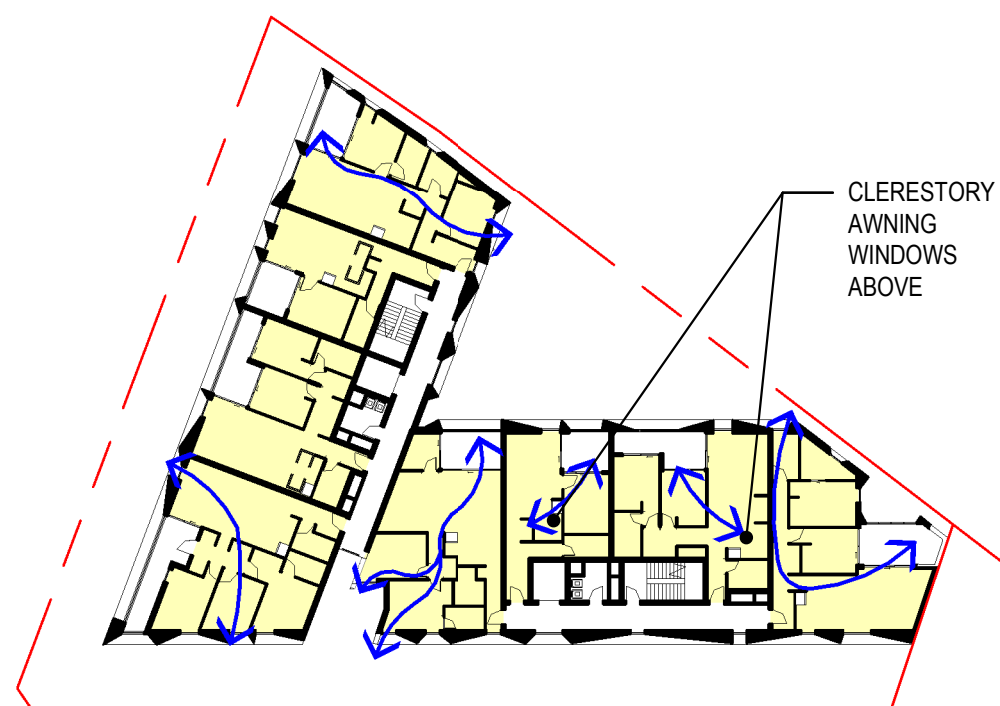
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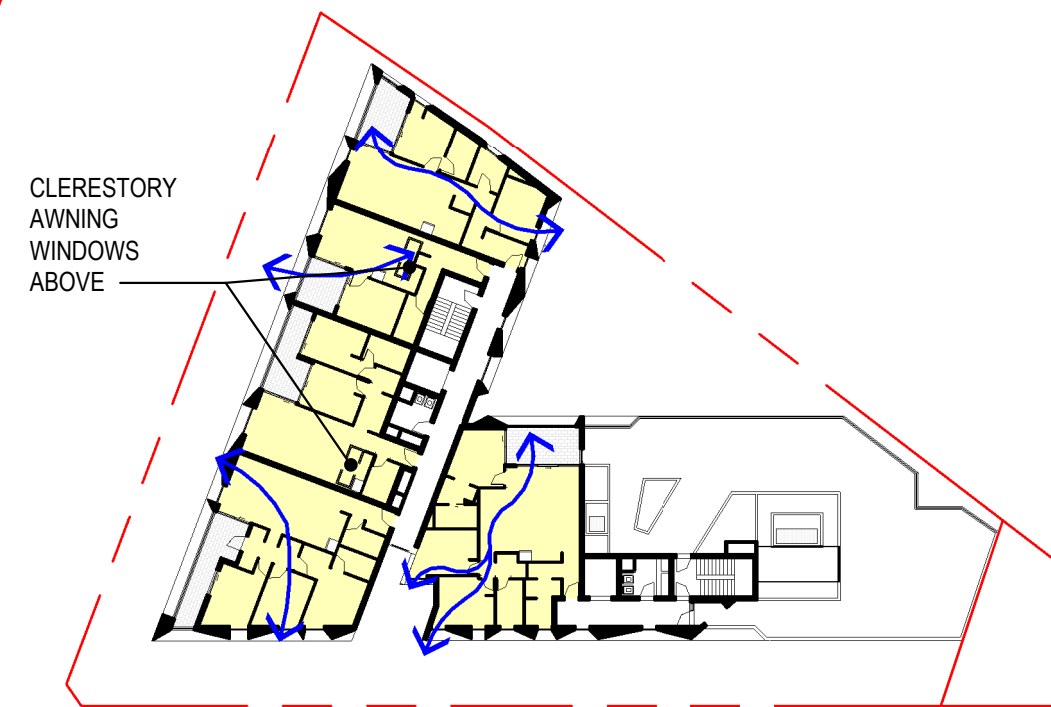
4 LEVEL 04 SOLAR ACCESS  
1 : 1000



5 LEVEL 05 SOLAR ACCESS  
1 : 1000



6 LEVEL 06 SOLAR ACCESS  
1 : 1000



7 LEVEL 07 SOLAR ACCESS  
1 : 1000



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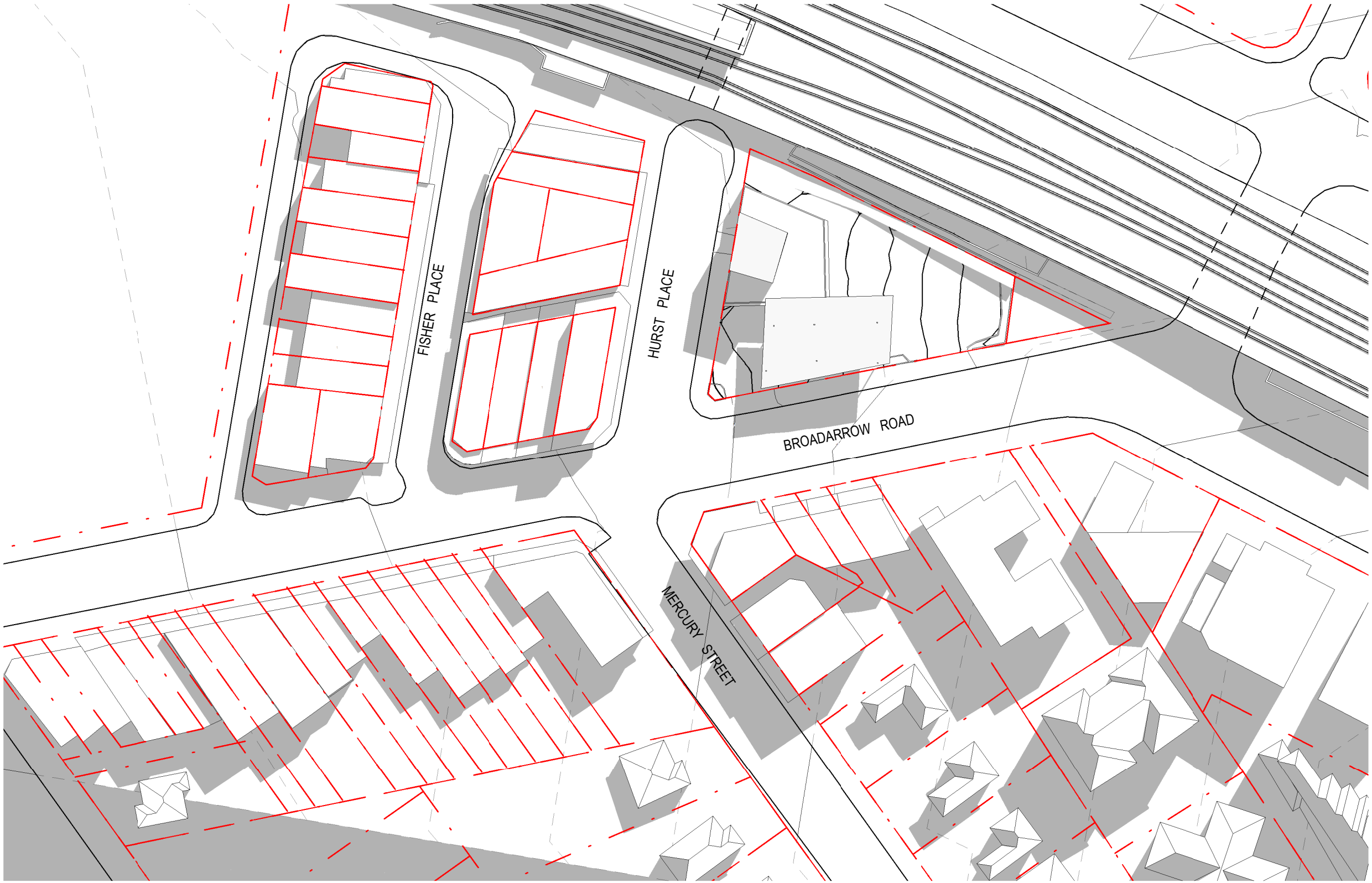
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ISSUE	DESCRIPTION	APPROVED	DATE
1	DA ISSUE	JL	05/11/18
2	REVISED DA ISSUE	JL	29/11/19
3	REVISED DA ISSUE	CA	14/09/20



1 EXISTING - 21ST JUNE 0900h

1:1600



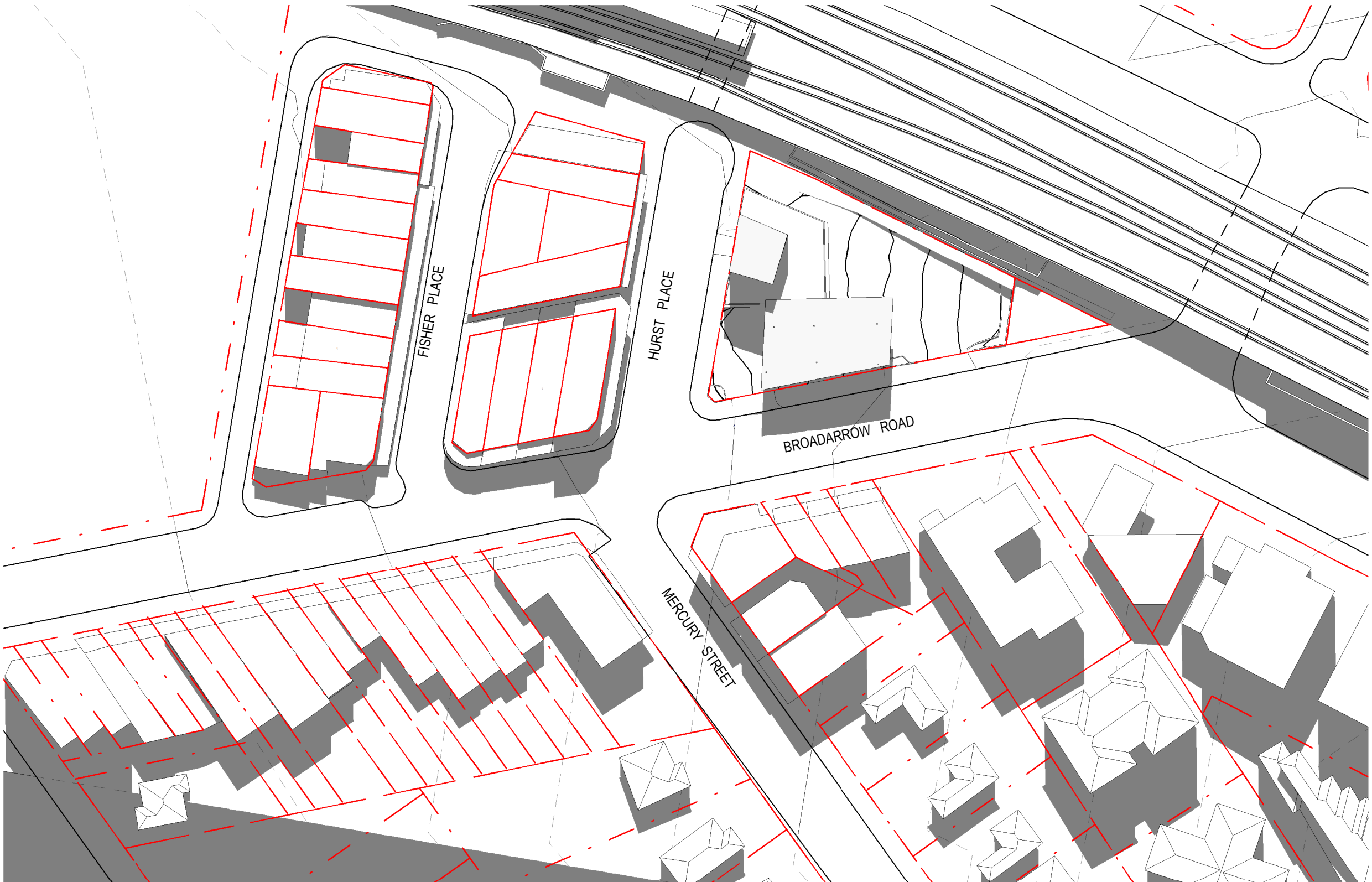
2 EXISTING - 21ST JUNE 1000h

1:1600



3 EXISTING - 21ST JUNE 1100h

1:1600



4 EXISTING - 21ST JUNE 1200h

1:1600

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SHADOW DIAGRAMS -  
EXISTING

DATE  
09/06/18

SCALE @ A3  
1 : 1600

DRAWN  
JL/PL

PROJECT No.

DISCP.

DRAWING No.

ISSUE

2017151 A DA-800

3

PROJECT  
NARWEE MIXED USE DEVELOPMENT

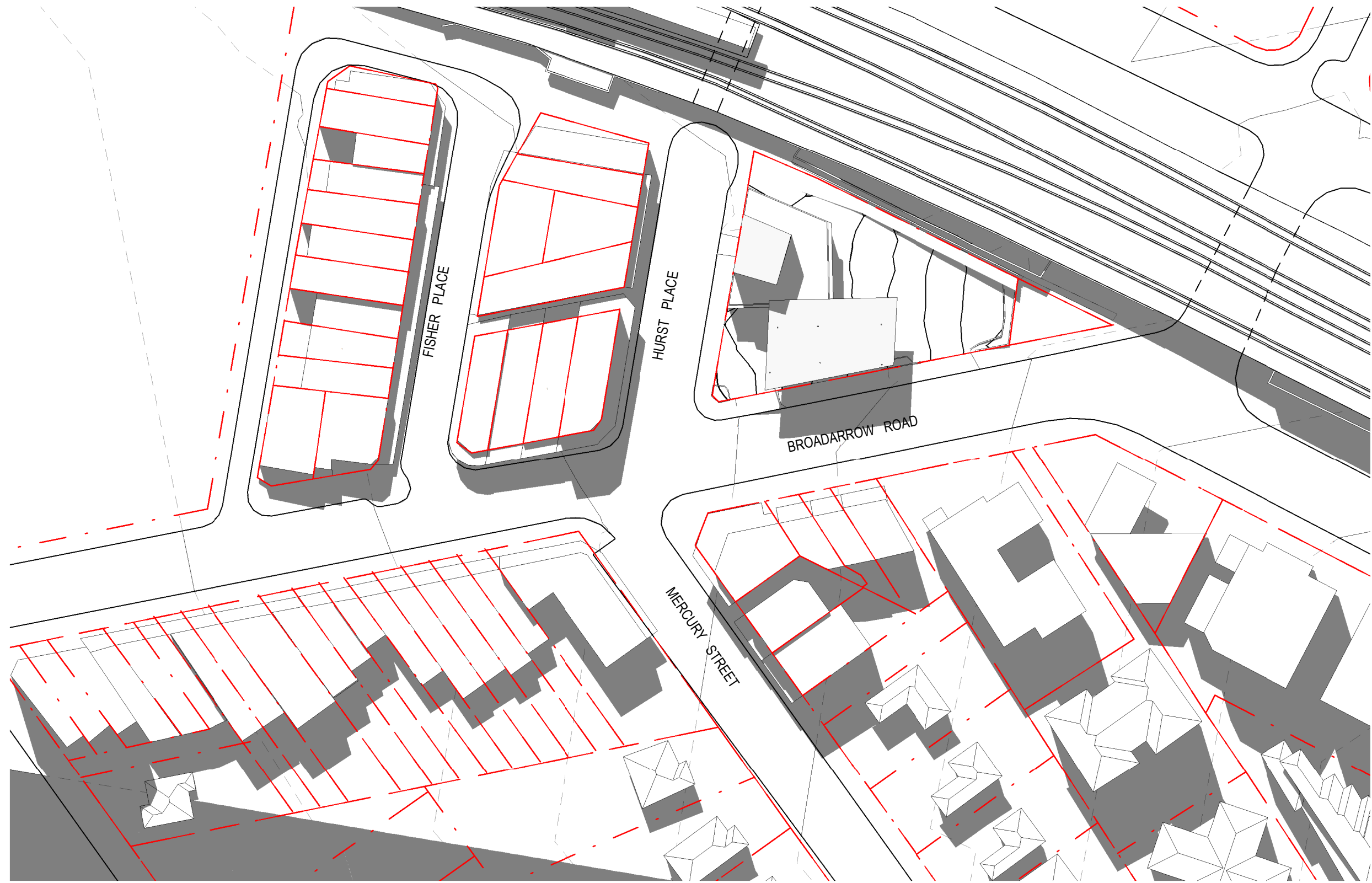
Lot 1, Pier 8-9, 23 Hickson Road  
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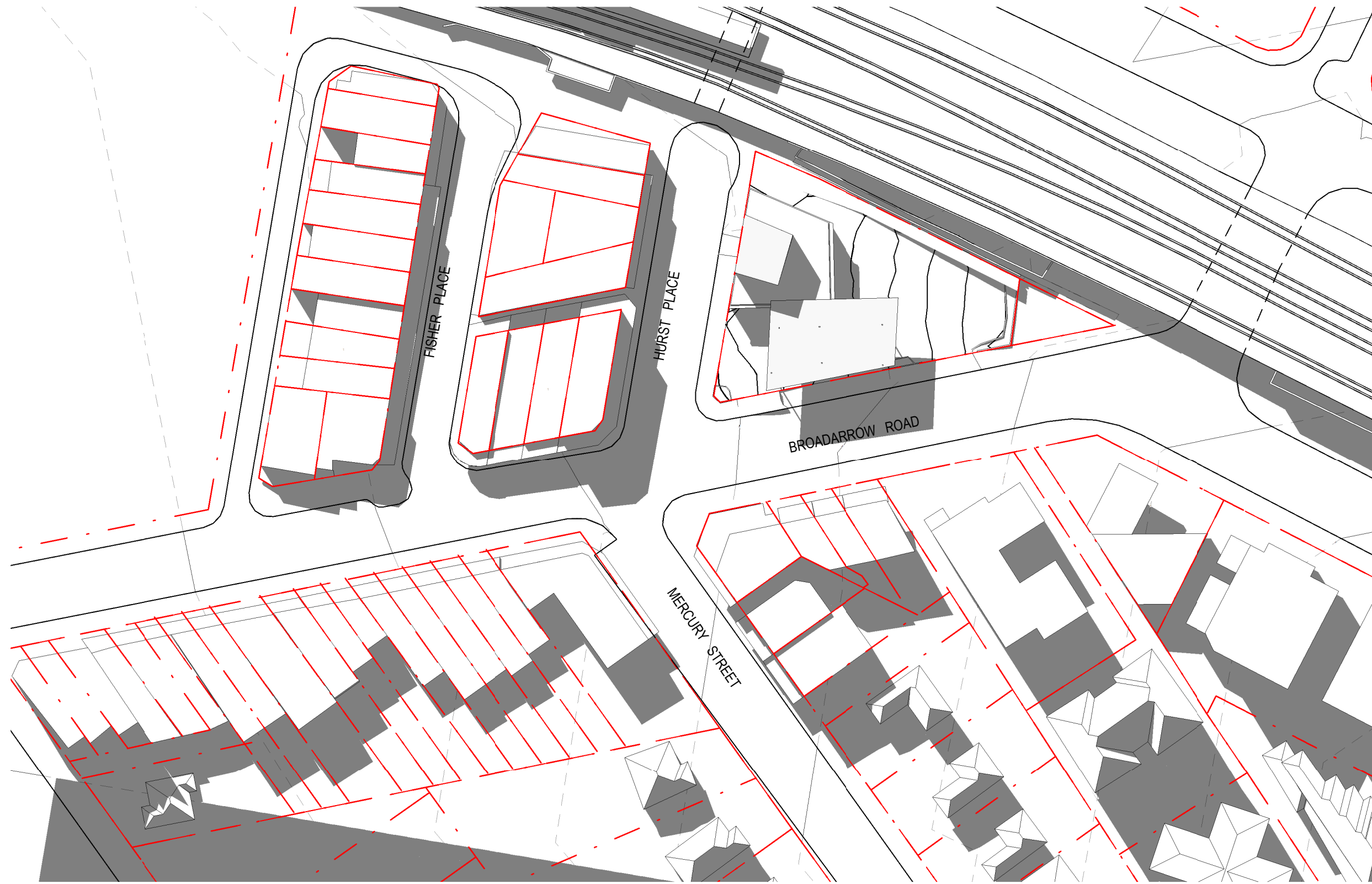
AMENDMENTS

ISSUE	DESCRIPTION	APPROVED	DATE
1	DA ISSUE	JL	05/11/19
2	REVISED DA ISSUE	JL	22/11/19
3	REVISED DA ISSUE	CA	14/09/20



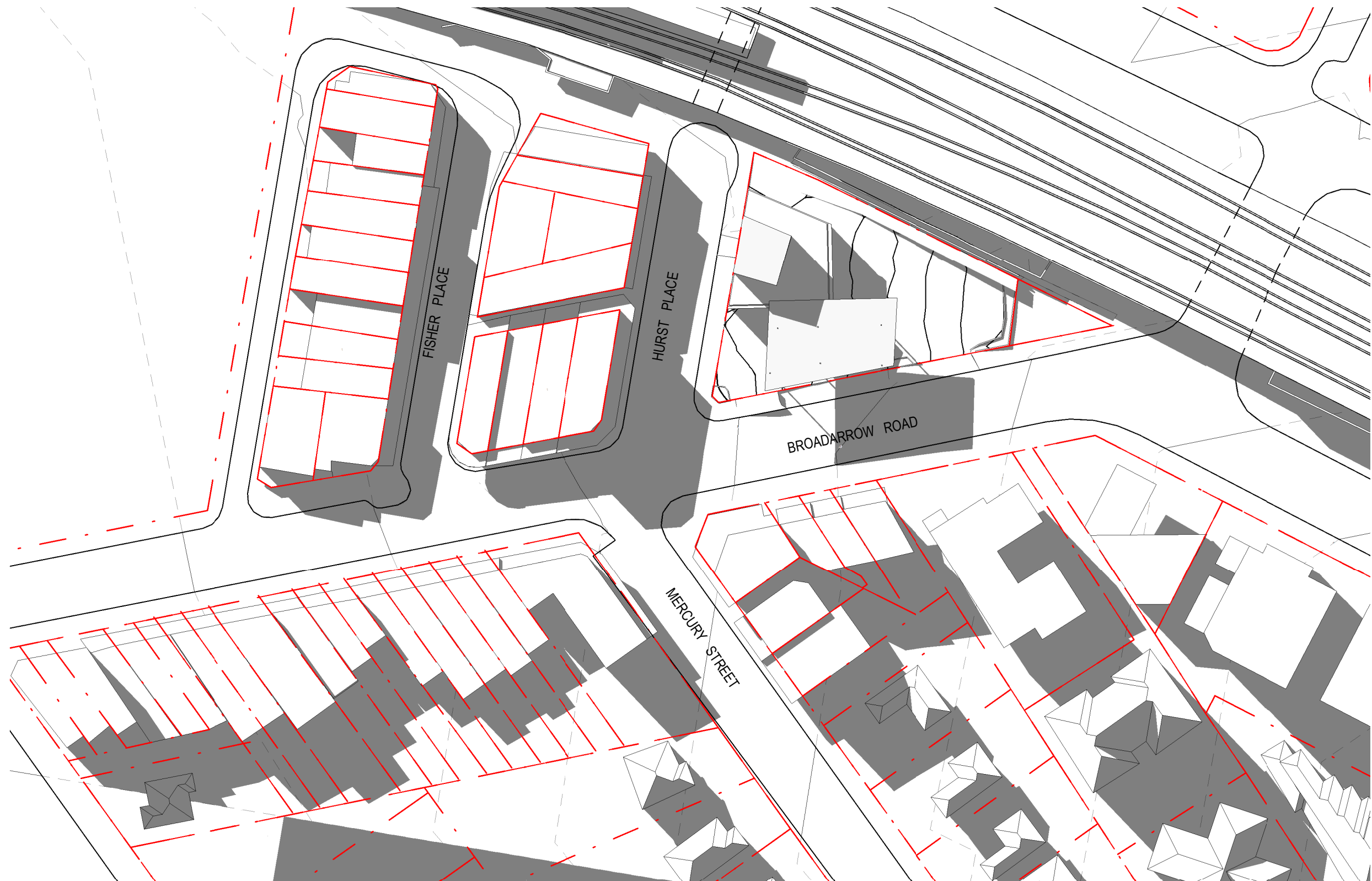
1 EXISTING - 21ST JUNE 1300h

1 : 1600



2 EXISTING - 21ST JUNE 1400h

1 : 1600



3 EXISTING - 21ST JUNE 1500h

1 : 1600

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APPROVED BY: CA CHECKED BY: JL

CLIENT  
MR & MRS COSTAS

DRAWING  
SHADOW DIAGRAMS -  
EXISTING

DATE 08/07/19 SCALE @ A3 1 : 1600 DRAWN JL/PL

PROJECT No. 2017151 A DISCP. DA-801 DRAWING No. ISSUE 3

PROJECT  
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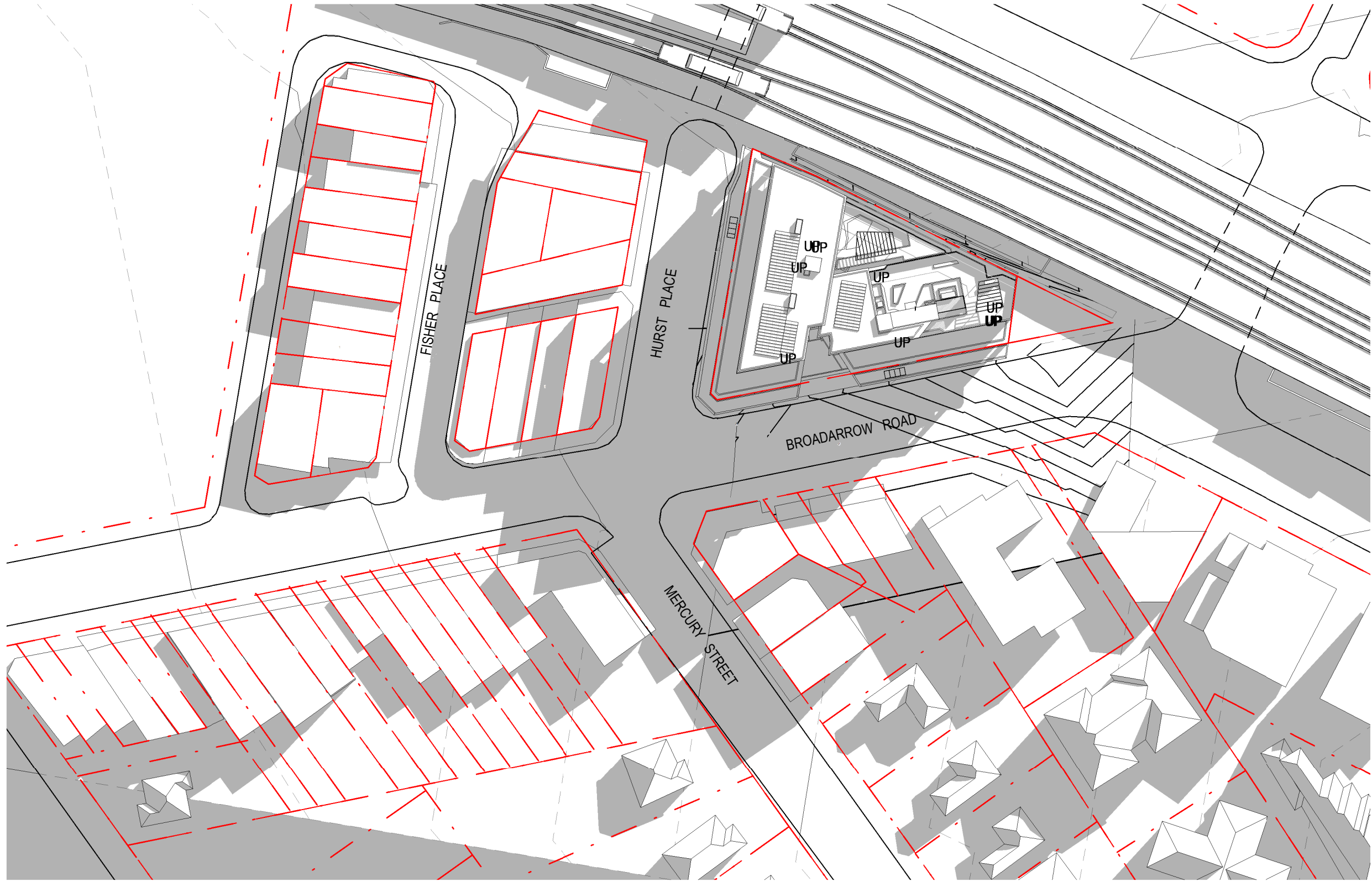
Lot 1, Pier 8-9, 23 Hickson Road  
Walsh Bay New South Wales 2000 Australia  
T 61 2 9290 2722 F 61 2 9290 1150  
E sydney@jacksonteece.com  
Jackson Teece Chesterman Willis Pty Ltd  
Trading as Jackson Teece  
ABN 15 083 837 390  
Nominated Architects: Damian Barker (8192), John Gow (6790), Daniel Hudson (8315)

JACKSON TEECE

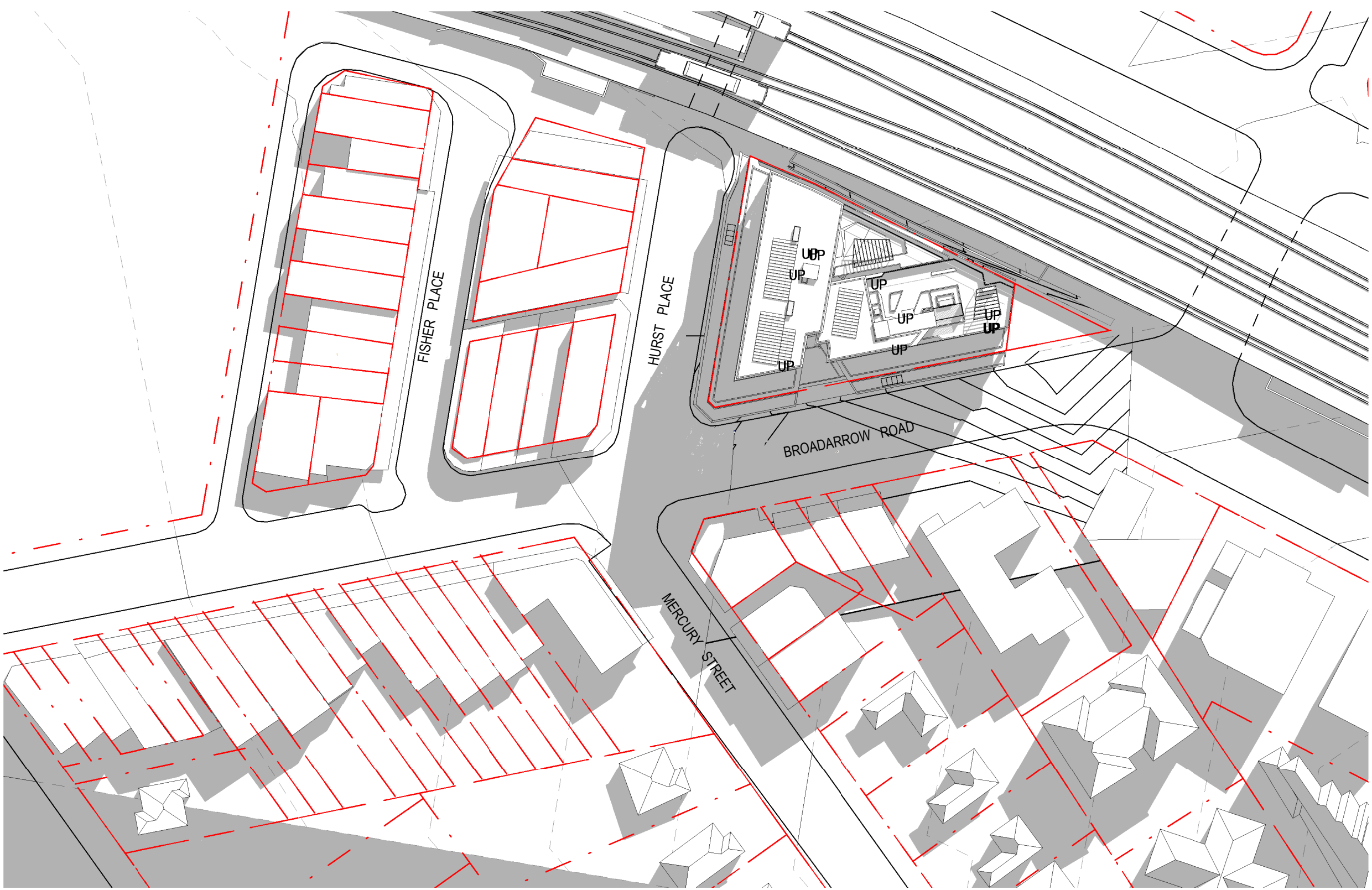


AMENDMENTS

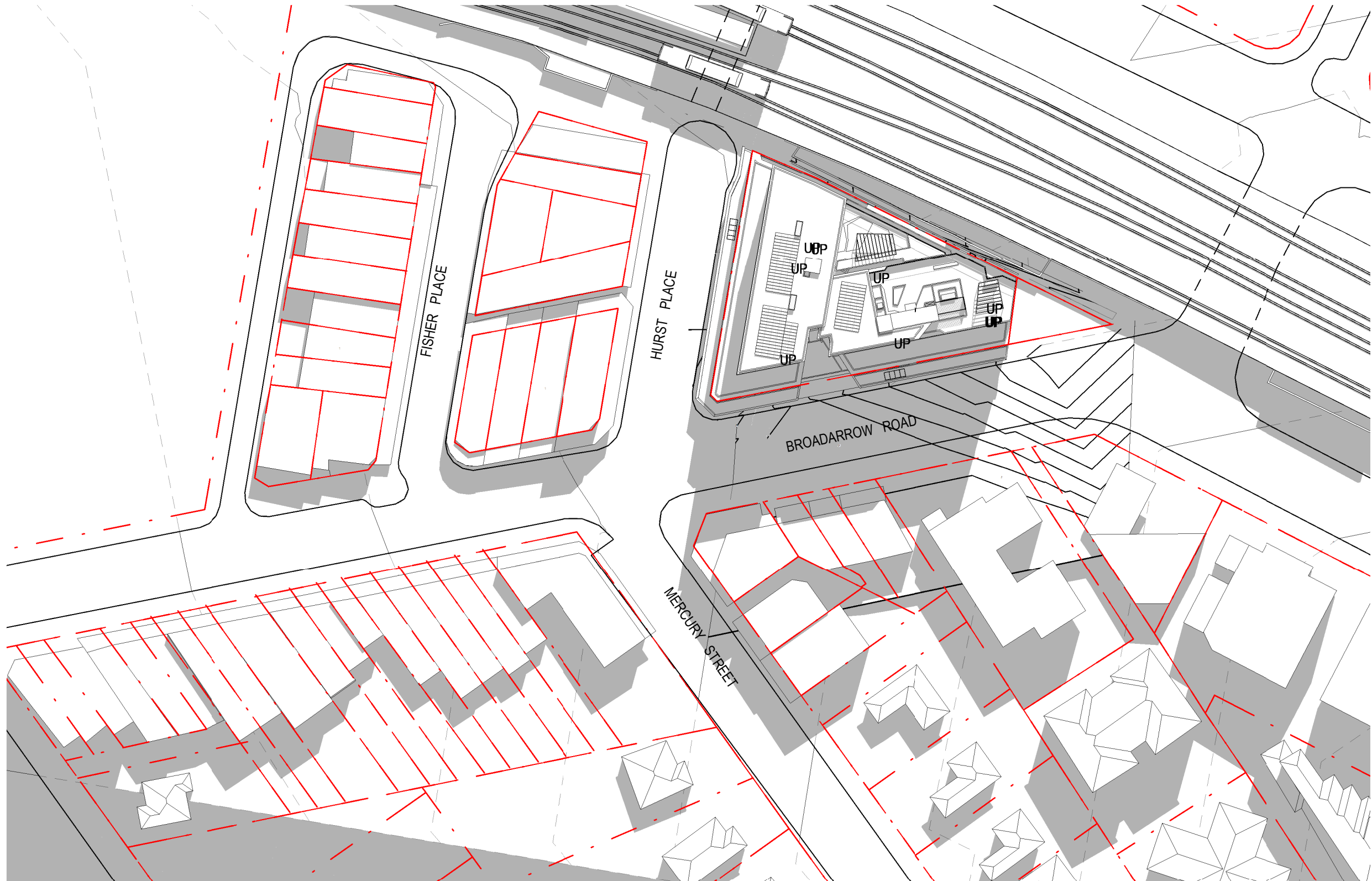
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1	REVISED DA ISSUE	JL	22/11/19
2	REVISED DA ISSUE	CA	14/09/20



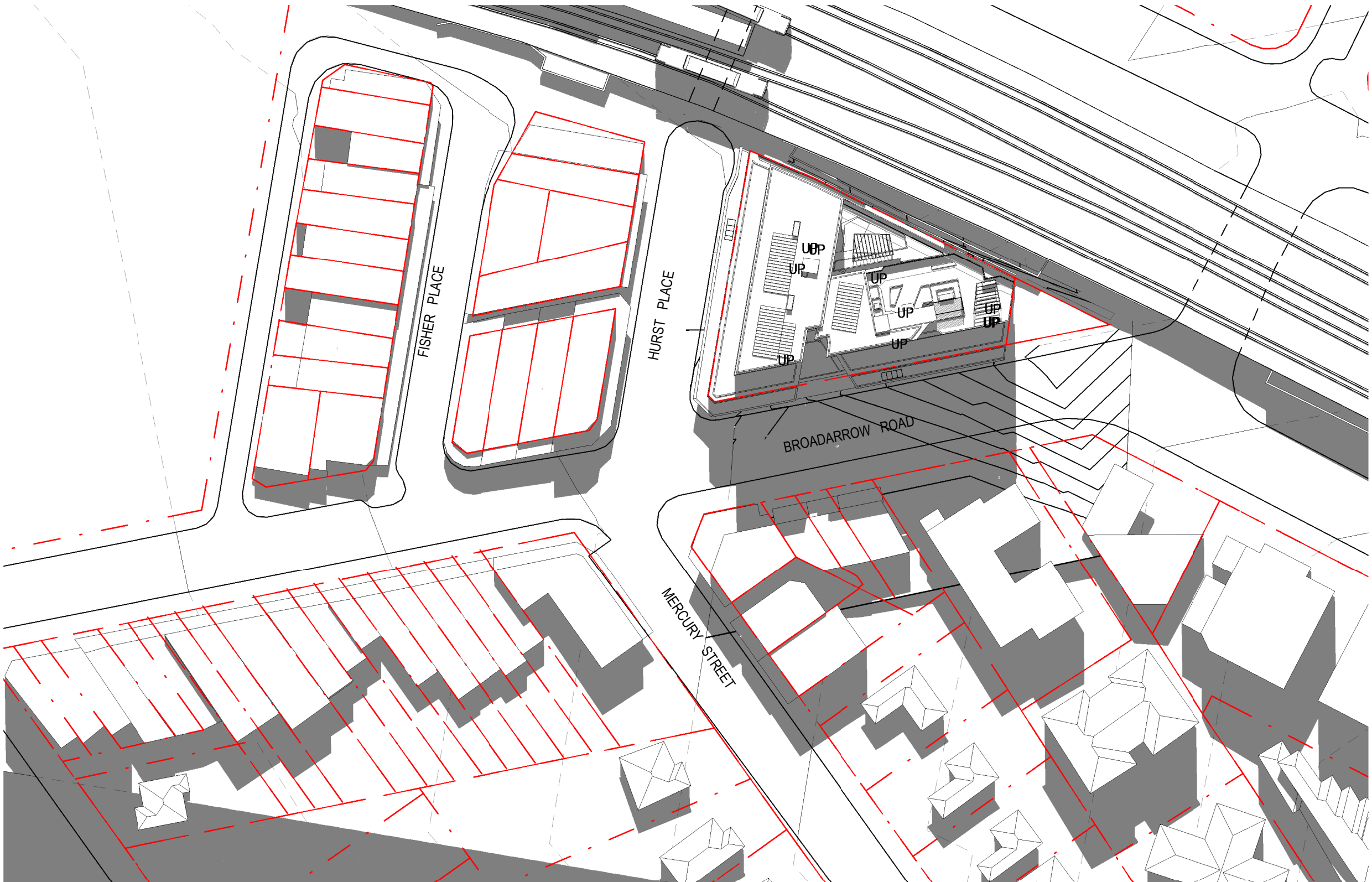
2 21ST JUNE 0900h



3 21ST JUNE 1000h



4 21ST JUNE 1100h



5 21ST JUNE 1200h

THIS DRAWING ISSUE HAS BEEN REVIEWED FOR

DA ISSUE

APPROVED BY: CA CHECKED BY: JL

CLIENT MR & MRS COSTAS

DRAWING SHADOW DIAGRAMS - PROPOSED

DATE 06/02/16 SCALE @ A3 1 : 1600 DRAWN JL/PL

PROJECT No. 2017151 A DISCP. DA-802 ISSUE 2

PROJECT NARWEE MIXED USE DEVELOPMENT

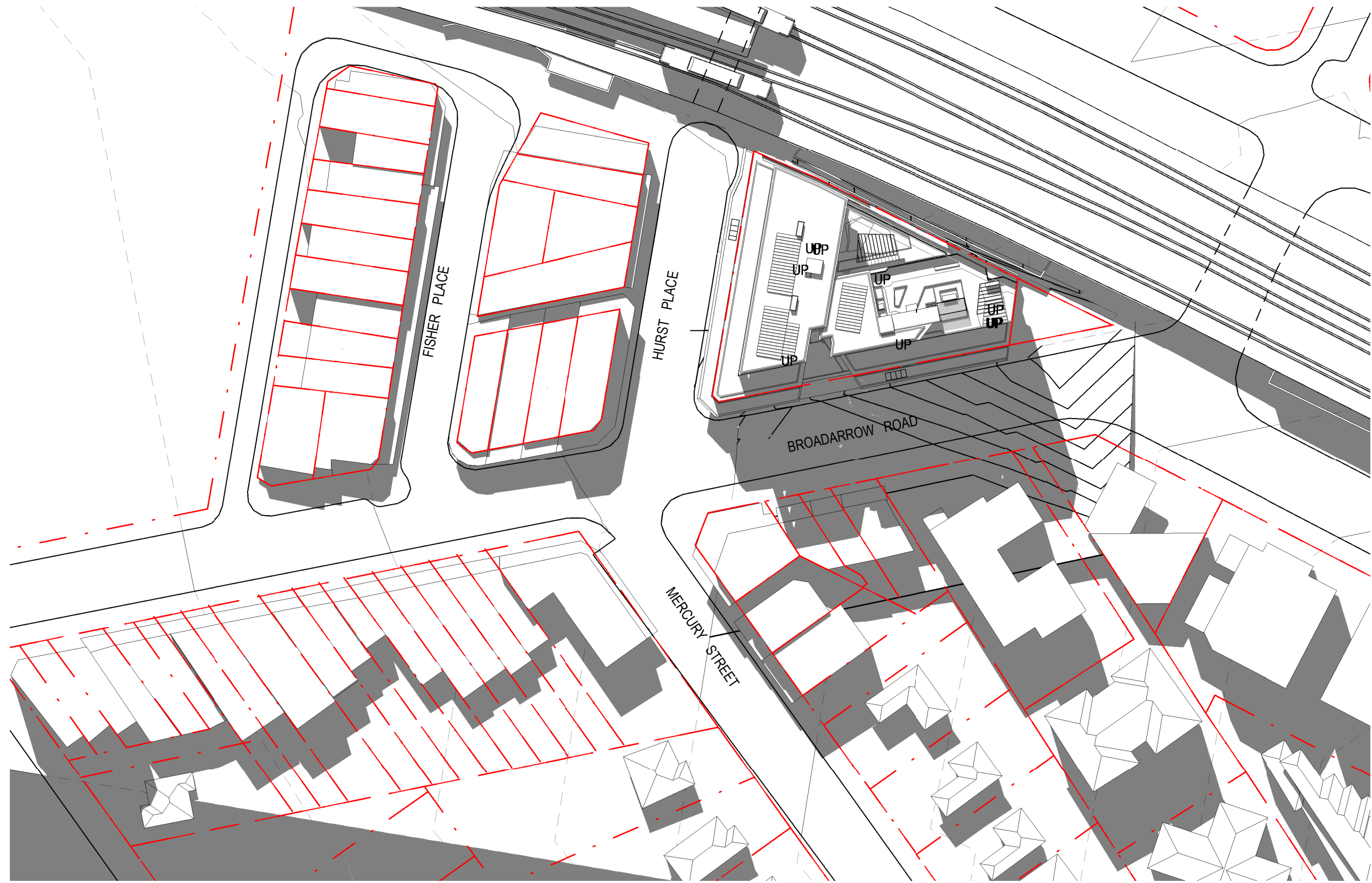
Lot 1, Pier 8-9, 23 Hickson Road  
Walsh Bay New South Wales 2000 Australia  
T 61 2 9290 2722 F 61 2 9290 1150  
E sydney@jacksonteece.com  
Jackson Teece Chesterman Willis Pty Ltd  
Trading as Jackson Teece  
ABN 15 083 837 390  
Nominated Architects: Damian Barker (8192), John Gow (6790), Daniel Hudson (8315)

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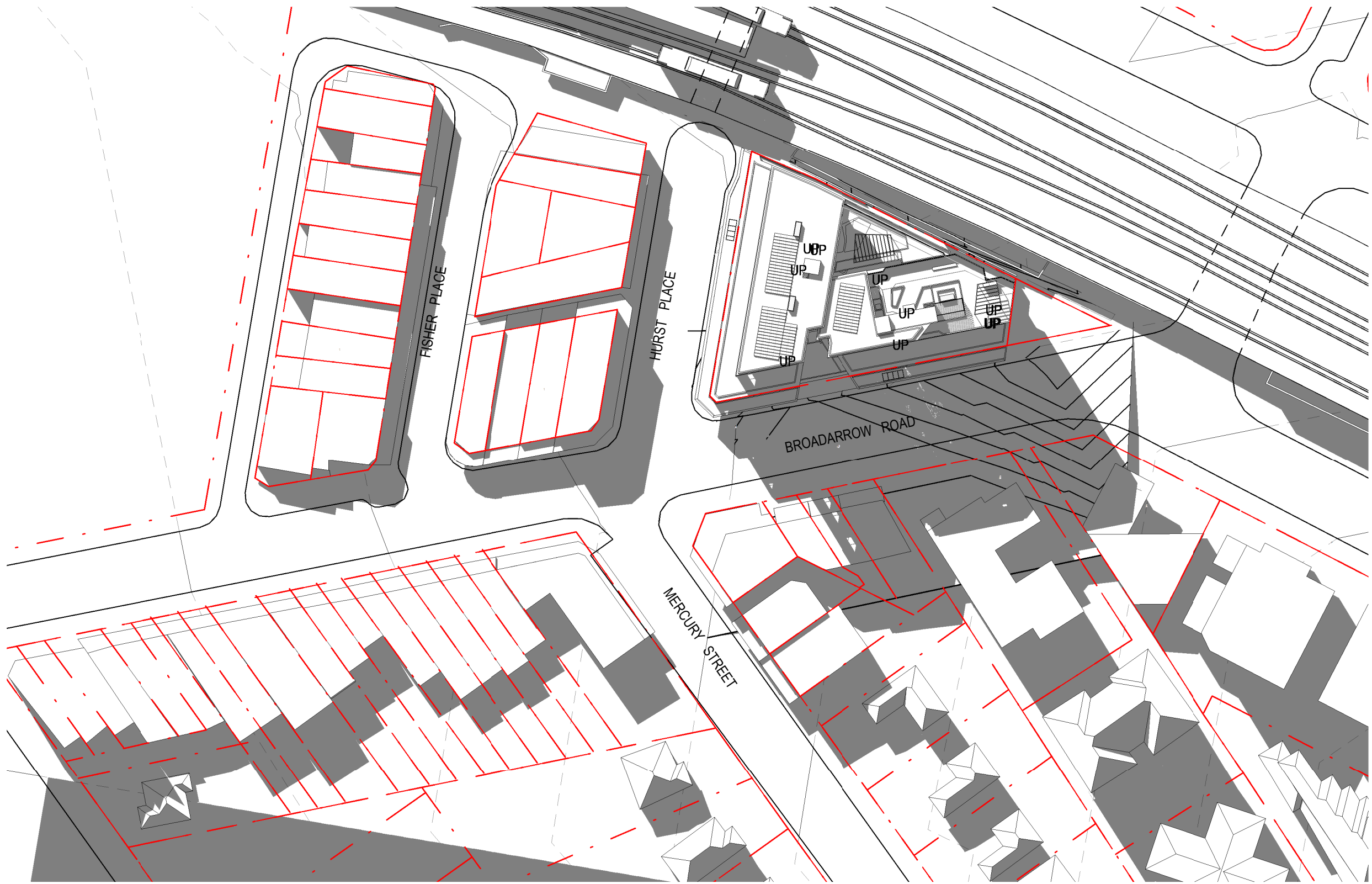


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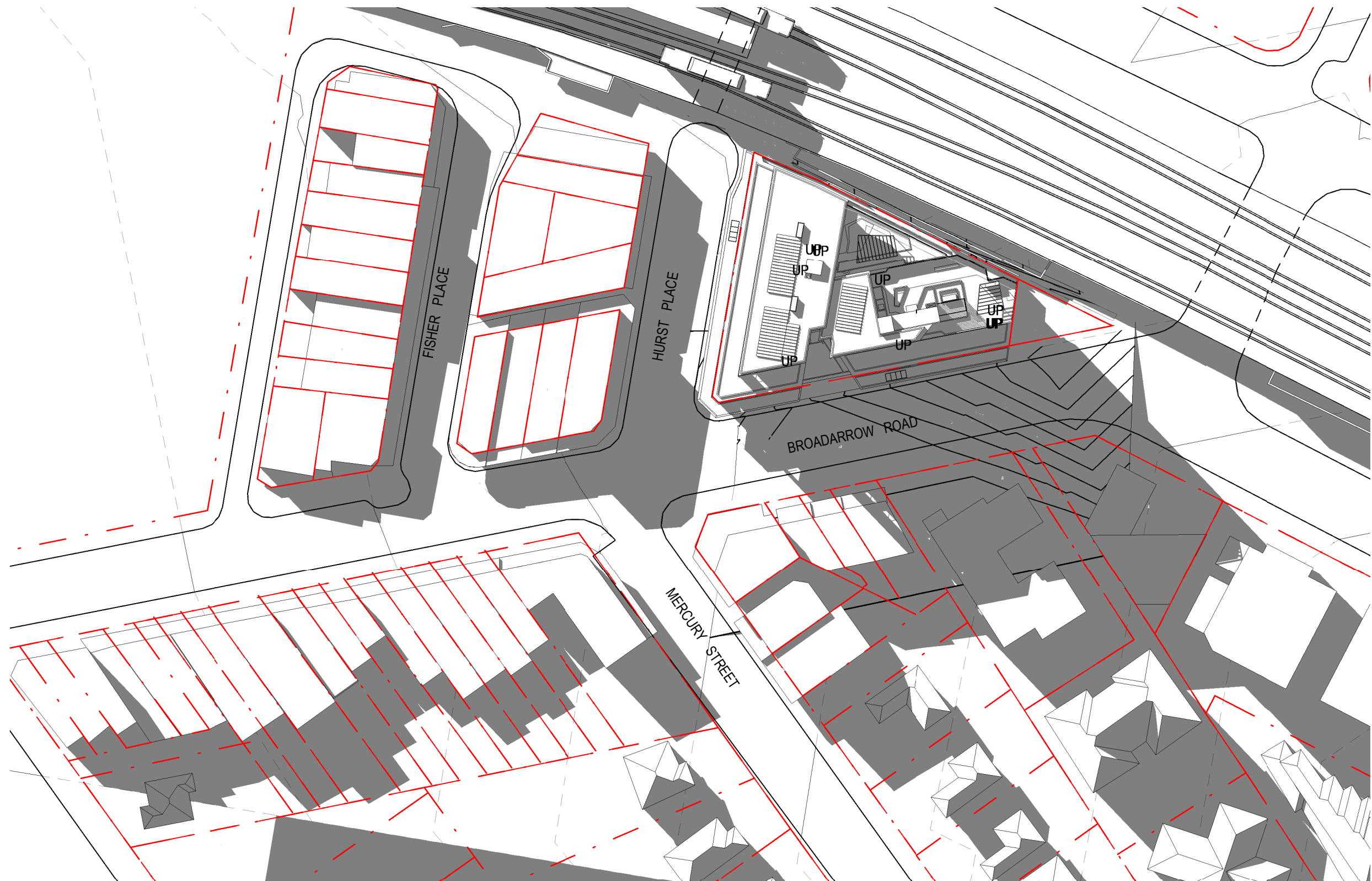
ISSUE	DESCRIPTION	APPROVED	DATE
1	REVISED DA ISSUE	JL	22/11/19
2	REVISED DA ISSUE	CA	14/09/20



1 21ST JUNE 1300h  
1 : 1600



2 21ST JUNE 1400h  
1 : 1600



3 21ST JUNE 1500h  
1 : 1600

THIS DRAWING ISSUE HAS BEEN REVIEWED FOR

DA ISSUE

APPROVED BY: Approver  
CHECKED BY: Checker

CLIENT  
MR & MRS COSTAS

DRAWING  
SHADOW DIAGRAMS -  
PROPOSED

DATE 08/07/19 SCALE @ A3 1 : 1600 DRAWN Author

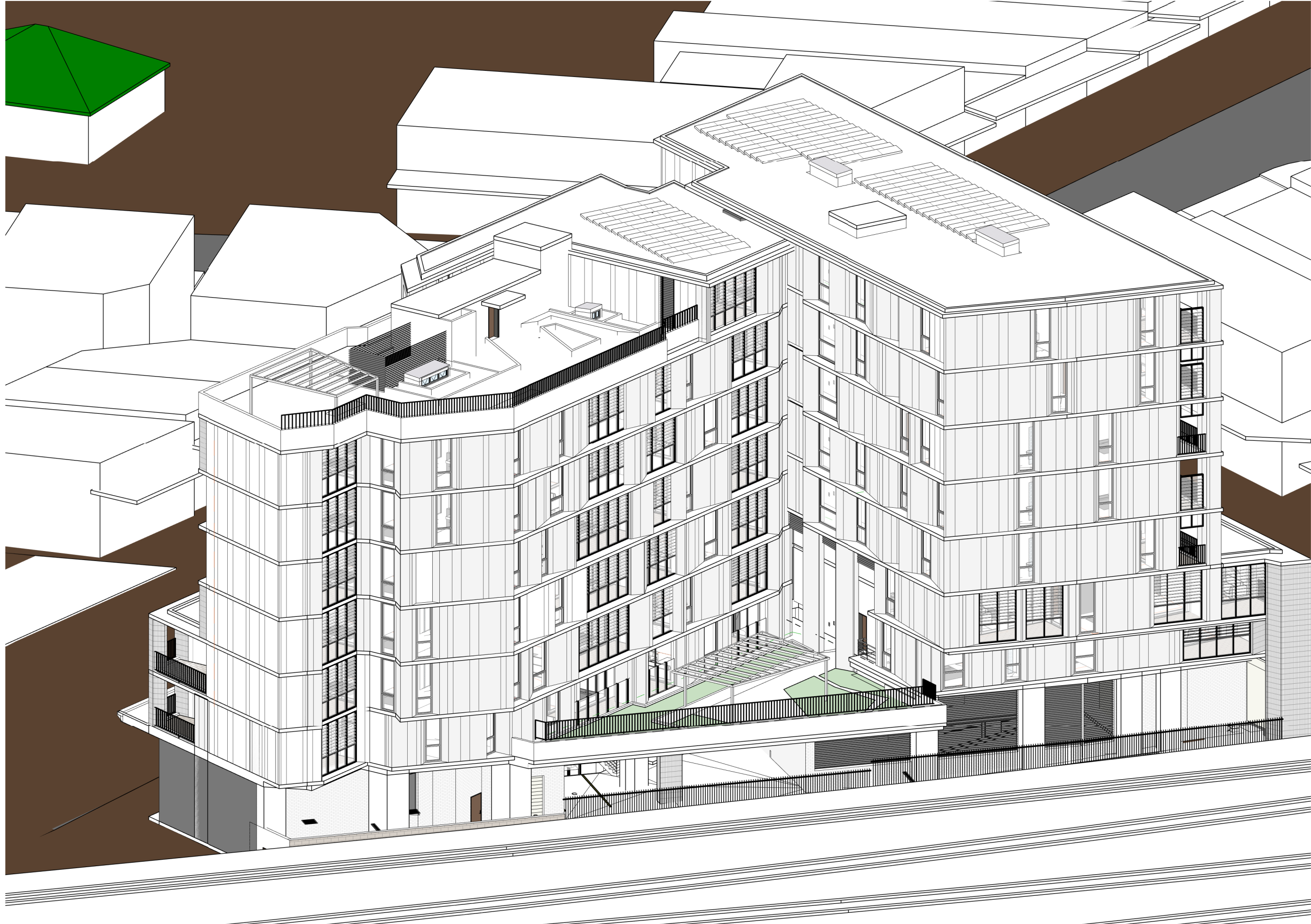
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PROJECT  
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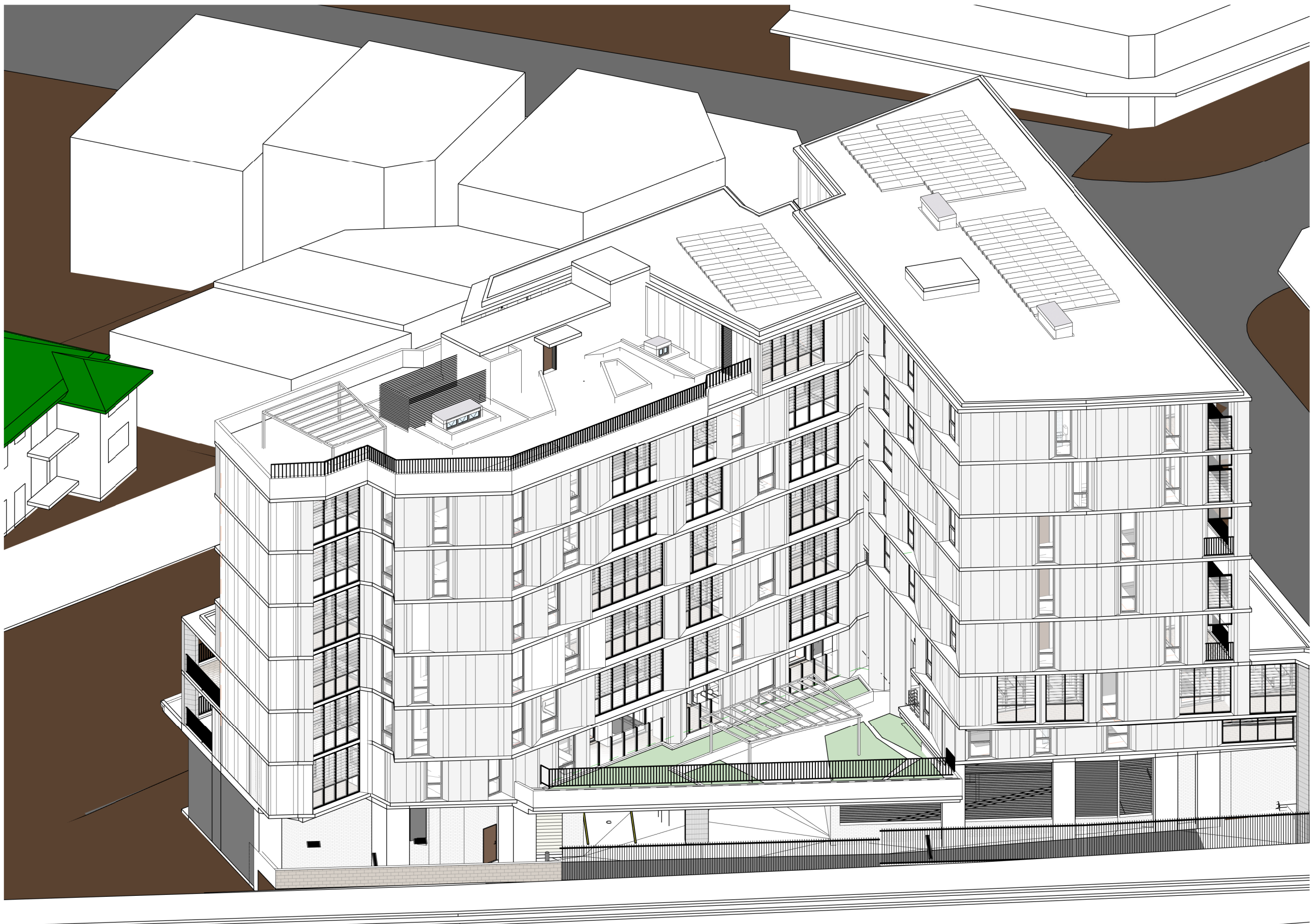
Lot 1, Pier 8-9, 23 Hickson Road  
Walsh Bay New South Wales 2000 Australia  
T 61 2 9290 2722 F 61 2 9290 1150  
E sydney@jacksonteece.com  
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Trading as Jackson Teece  
ABN 15 083 837 390  
Nominated Architects: Damian Barker (8192), John Gow (6790), Daniel Hudson (8315)

JACKSON TEECE

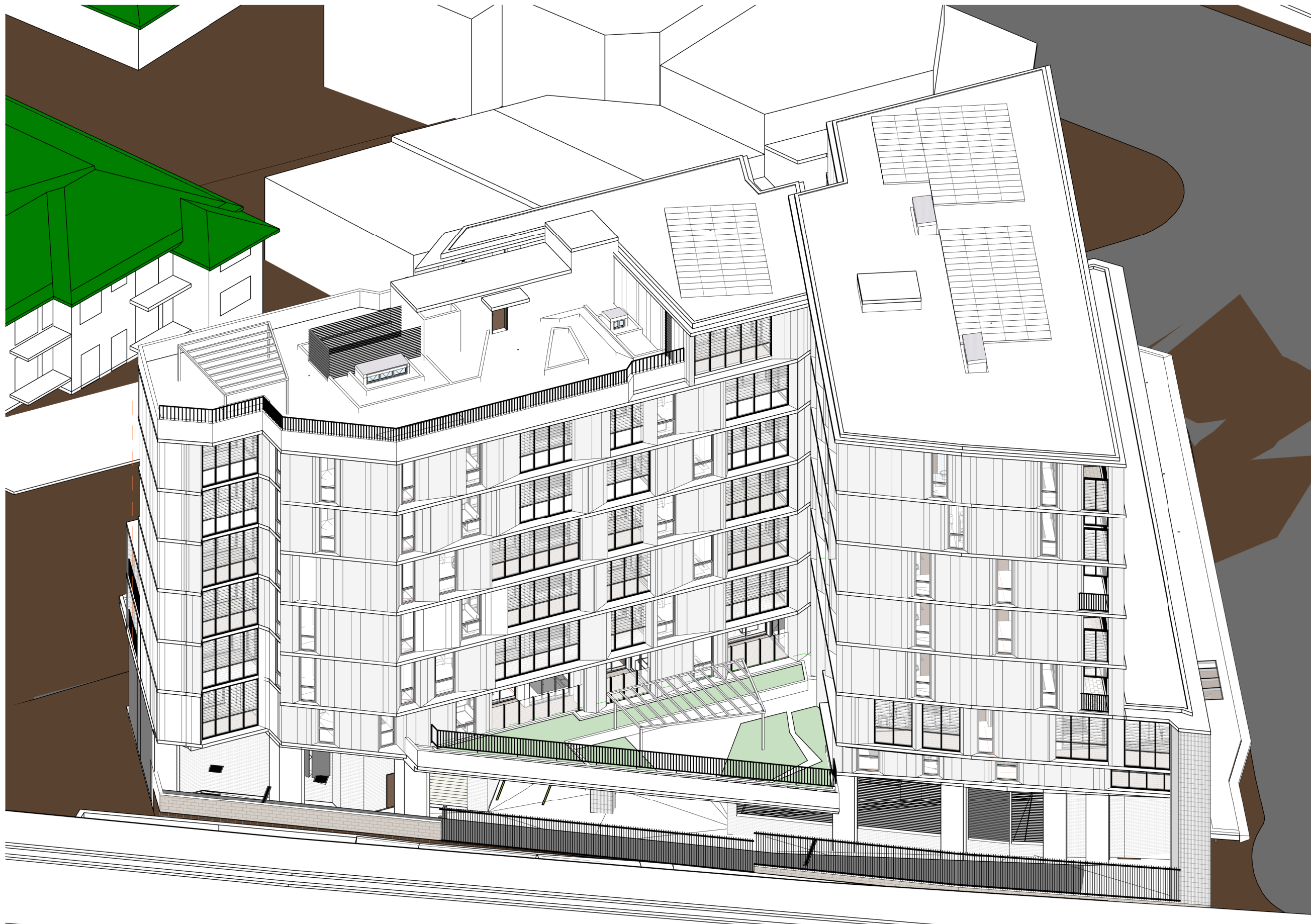




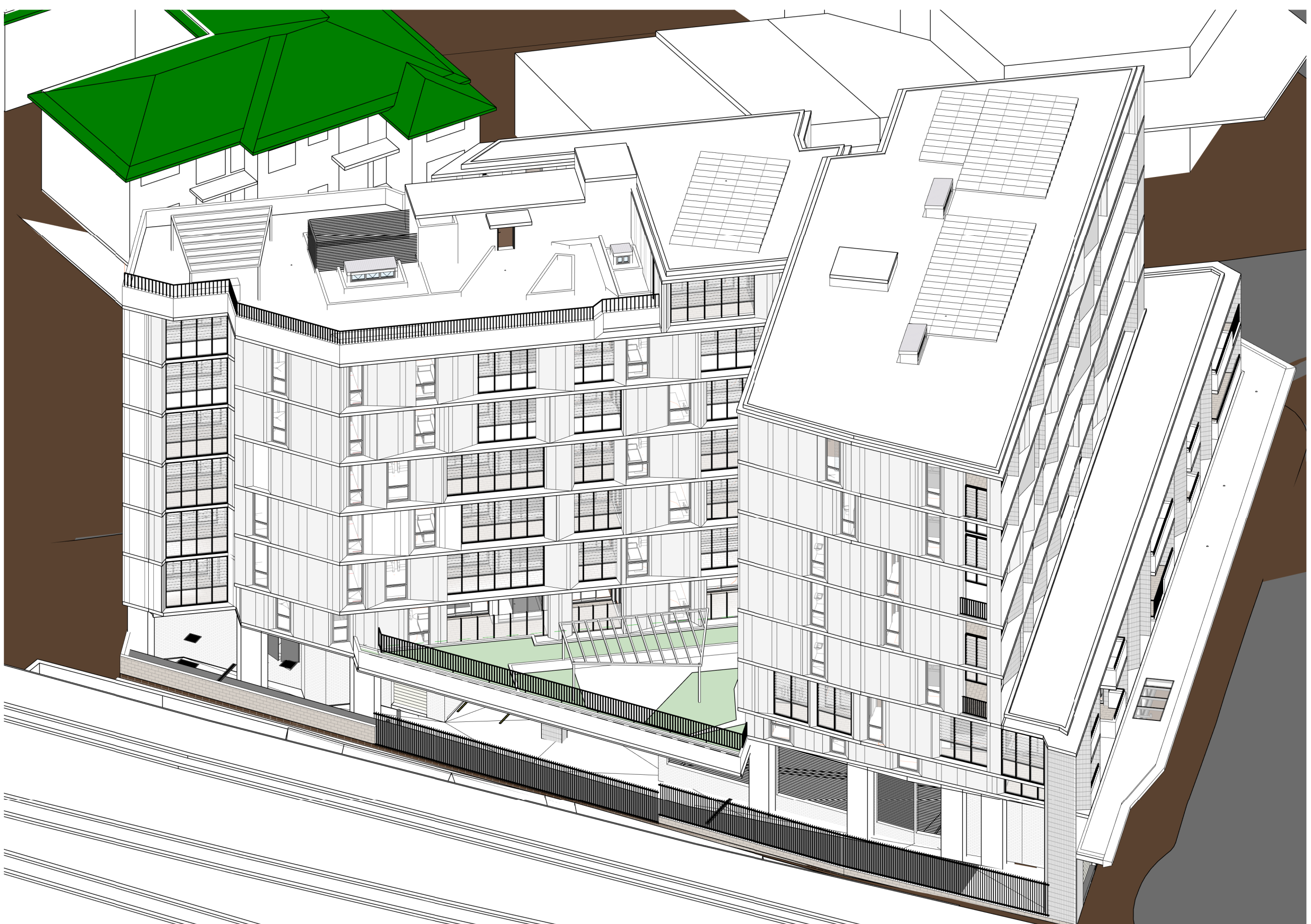
1 SUN VIEW 21ST JUNE 0900h



2 SUN VIEW 21ST JUNE 1000h



3 SUN VIEW 21ST JUNE 1100h



4 SUN VIEW 21ST JUNE 1200h

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#### AMENDMENTS

ISSUE	DESCRIPTION	APPROVED	DATE
1	REVISED DA ISSUE	JL	22/11/19
2	REVISED DA ISSUE	CA	14/09/20

**DESIGN & CONSTRUCTION**  
These documents form part of the documentation package prepared for Design and Construct (D & C) tendering. They show the design intent and therefore are not to be considered as fully resolved construction documentation.  
The documents show the extent of the client's needs and intent. Not all items of work have been drawn, detailed and specified. Materials and finishes are shown in order to show their quality anticipated by the client.  
The D + C Contractor shall assume sole responsibility for undertaking all documentation needed for issue of the Construction Certificate, and subsequent construction and final approvals for occupation.  
The specification and schedules shall be read in conjunction with the drawings, all of which are intended to be mutually explanatory. All work called for by the one, even if not by the other, shall be fully executed.

THIS DRAWING ISSUE HAS BEEN REVIEWED FOR

#### DA ISSUE

APPROVED BY: Approver  
CHECKED BY: Checker

CLIENT  
MR & MRS COSTAS

DRAWING  
SOLAR STUDIES (VIEW FROM THE SUN)

DATE 08/07/19 SCALE @ A1 DRAWN Author

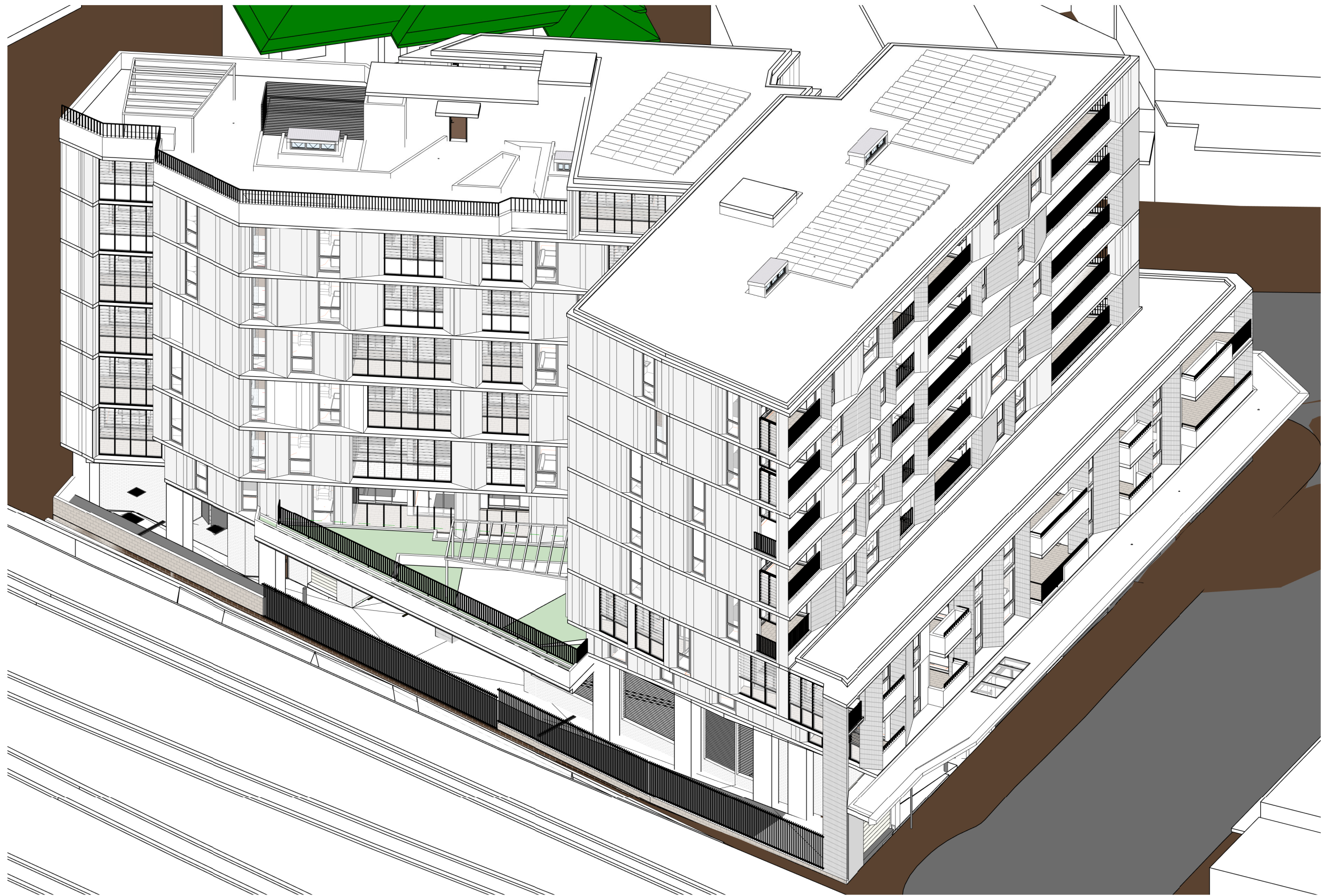
PROJECT No. DISCP. DRAWING No. ISSUE  
2017151 A DA-804 2

PROJECT  
NARWEE MIXED USE DEVELOPMENT

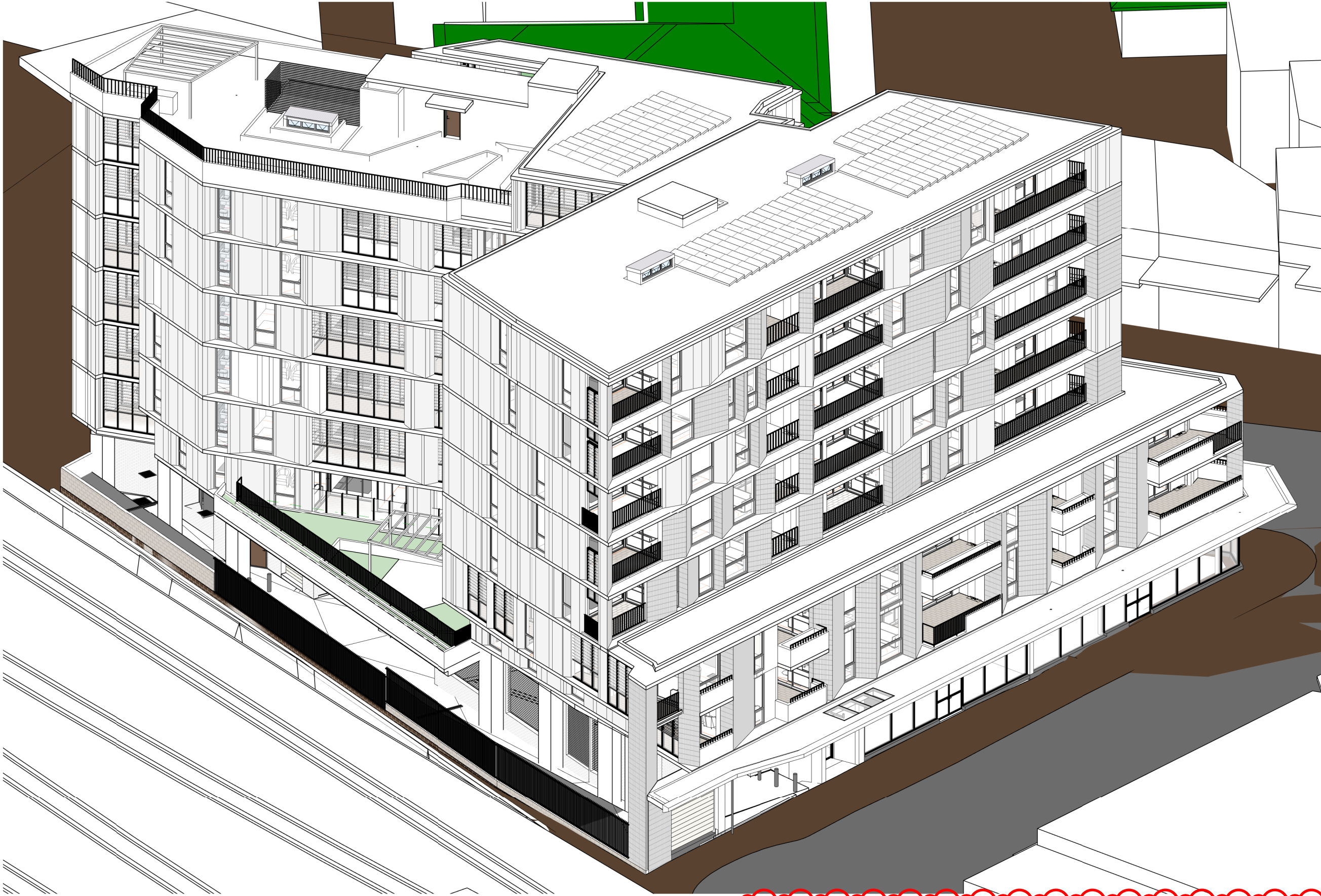
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Walsh Bay New South Wales 2000 Australia  
T 61 2 9290 2722 F 61 2 9290 1150  
E sydney@jacksonteece.com  
Jackson Teece Chesterman Willis Pty Ltd  
Trading as Jackson Teece  
ABN 15 083 837 390  
Nominated Architects: Damian Barker (8922), John Gow (6790), Daniel Hudson (8315)

**JACKSON TEECE**





1 SUN VIEW 21ST JUNE 1300h



2 SUN VIEW 21ST JUNE 1400h



3 SUN VIEW 21ST JUNE 1500h

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AMENDMENTS

ISSUE	DESCRIPTION	APPROVED	DATE
1	REVISED DA ISSUE	JL	22/11/19
2	REVISED DA ISSUE	CA	14/09/20

SEPP 65 - SOLAR ACCESS HOURS

APARTMENT	LIVING SPACE							TOTAL HRS COMPLIANT	PRIVATE OPEN SPACE							TOTAL HRS COMPLIANT
	09 AM	10 AM	11 AM	12 PM	01 PM	02 PM	03 PM		09 AM	10 AM	11 AM	12 PM	01 PM	02 PM	03 PM	
L01-01								2								2
L01-02								2								2
L01-03								2								2
L01-04								2								2
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L07-05								2								2
TOTAL								56								56

THIS DRAWING ISSUE HAS BEEN REVIEWED FOR

DA ISSUE

APPROVED BY: CA CHECKED BY: JL

CLIENT MR & MRS COSTAS

DRAWING SOLAR STUDIES (VIEW FROM THE SUN)

DATE 08/07/19 SCALE @ A1 DRAWN JL/PL

PROJECT No. 2017151 A DISC. DA-805 ISSUE 2

PROJECT NARWEE MIXED USE DEVELOPMENT

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Walsh Bay New South Wales 2000 Australia  
T 61 2 9290 2722 F 61 2 9290 1150  
E sydney@jacksonteece.com  
Jackson Teece Chesterman Willis Pty Ltd  
Trading as Jackson Teece  
ABN 15 083 807 390  
Nominated Architect: Damian Barker (8192), John Gow (6790), Daniel Hudson (8315)

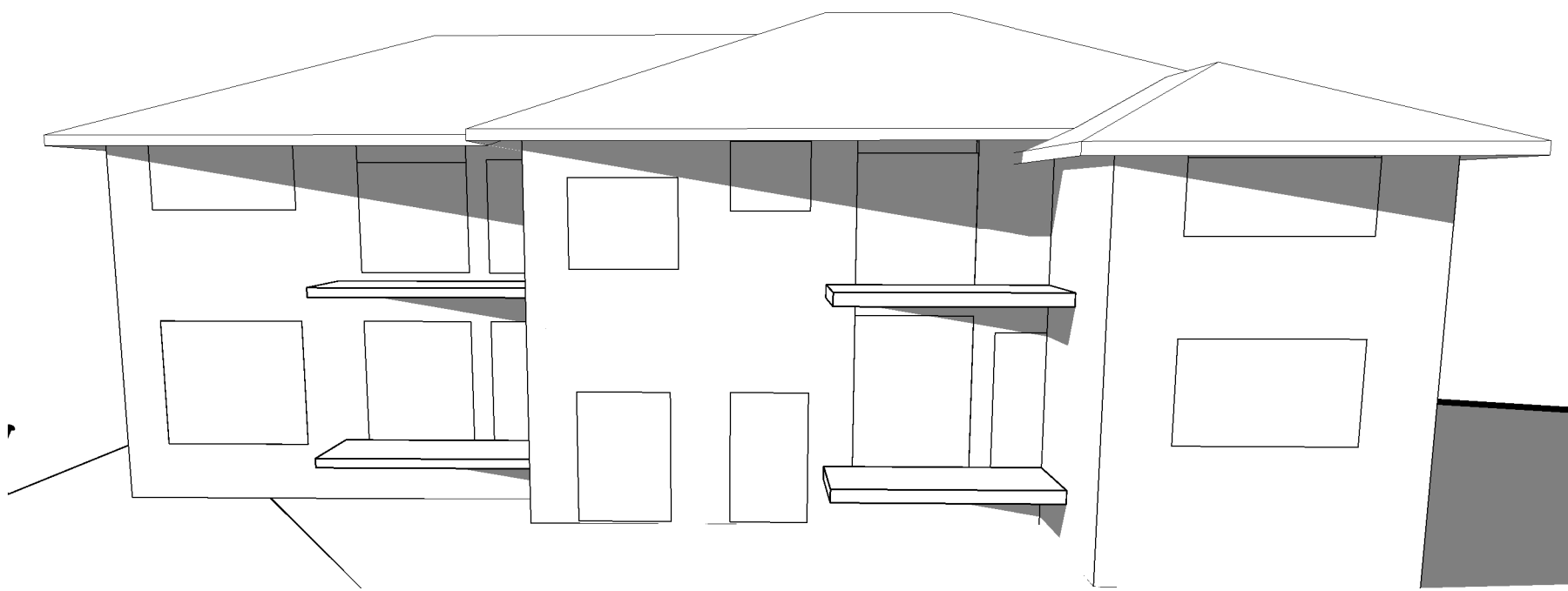
JACKSON TEECE



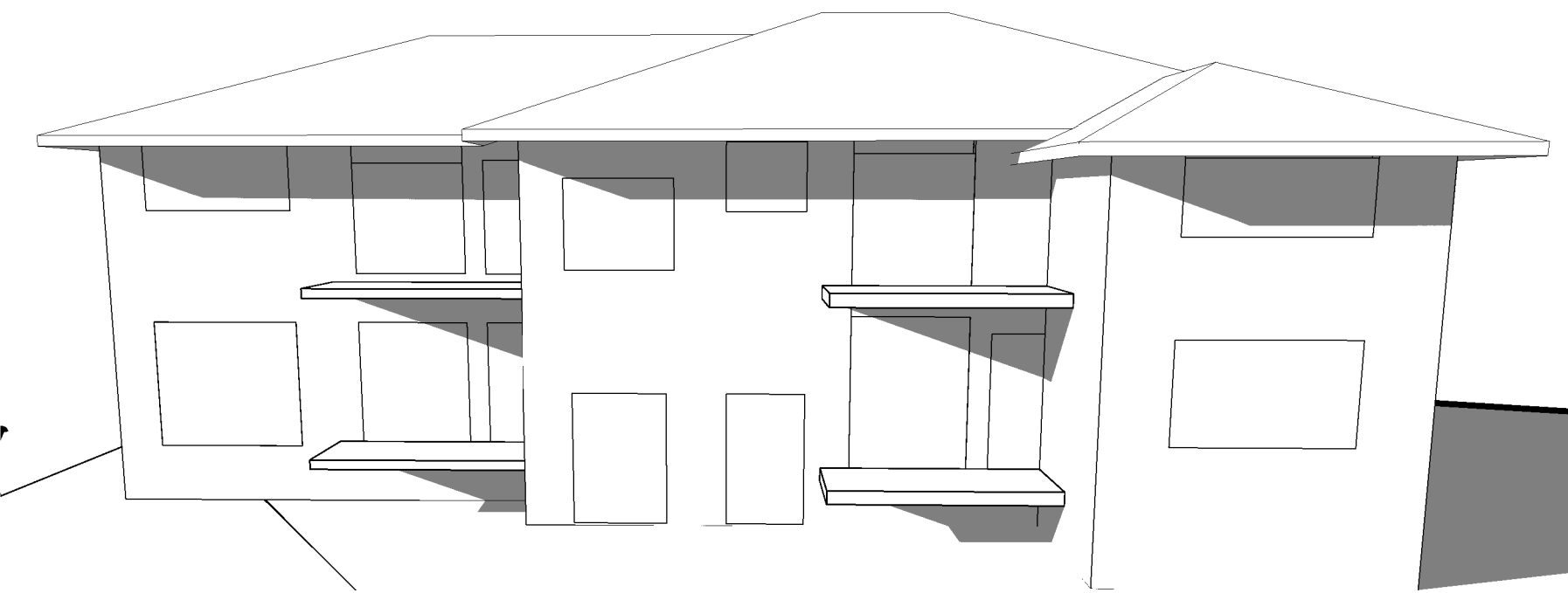
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AMENDMENTS

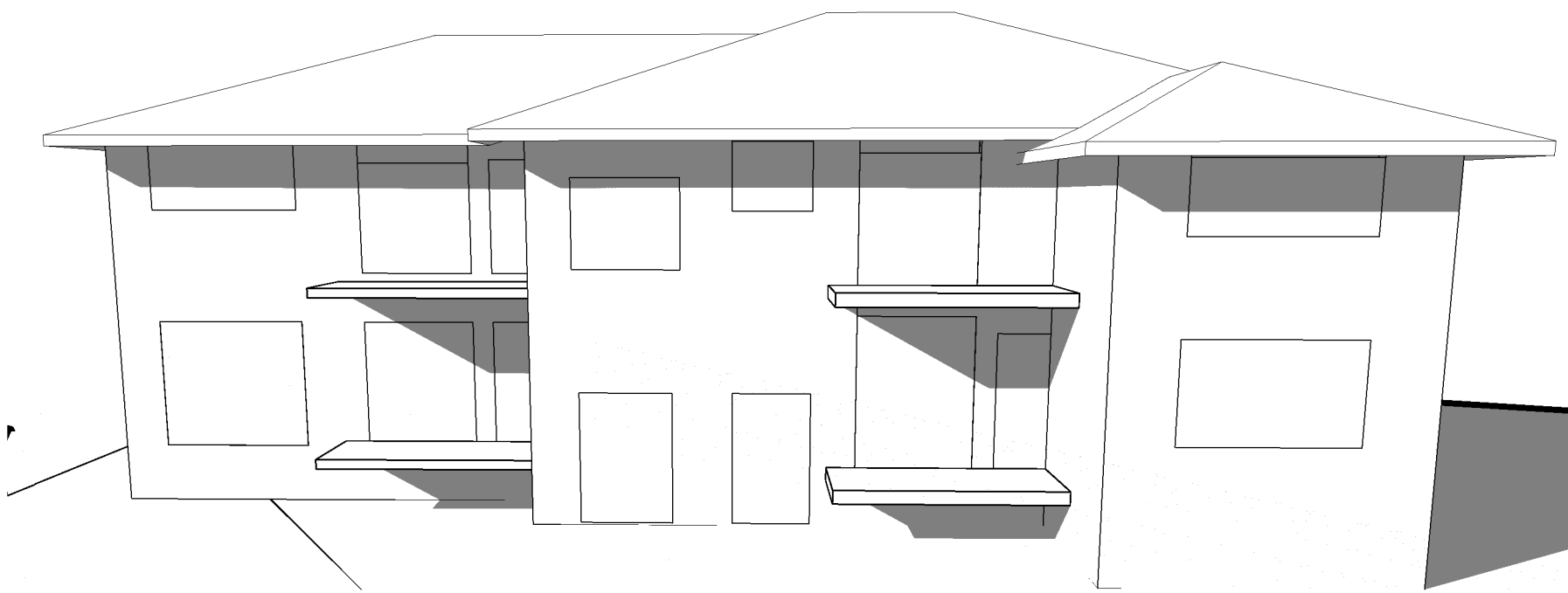
ISSUE	DESCRIPTION	APPROVED	DATE
1	REVISED DA ISSUE	JL	22/11/19
2	REVISED DA ISSUE	CA	14/09/20



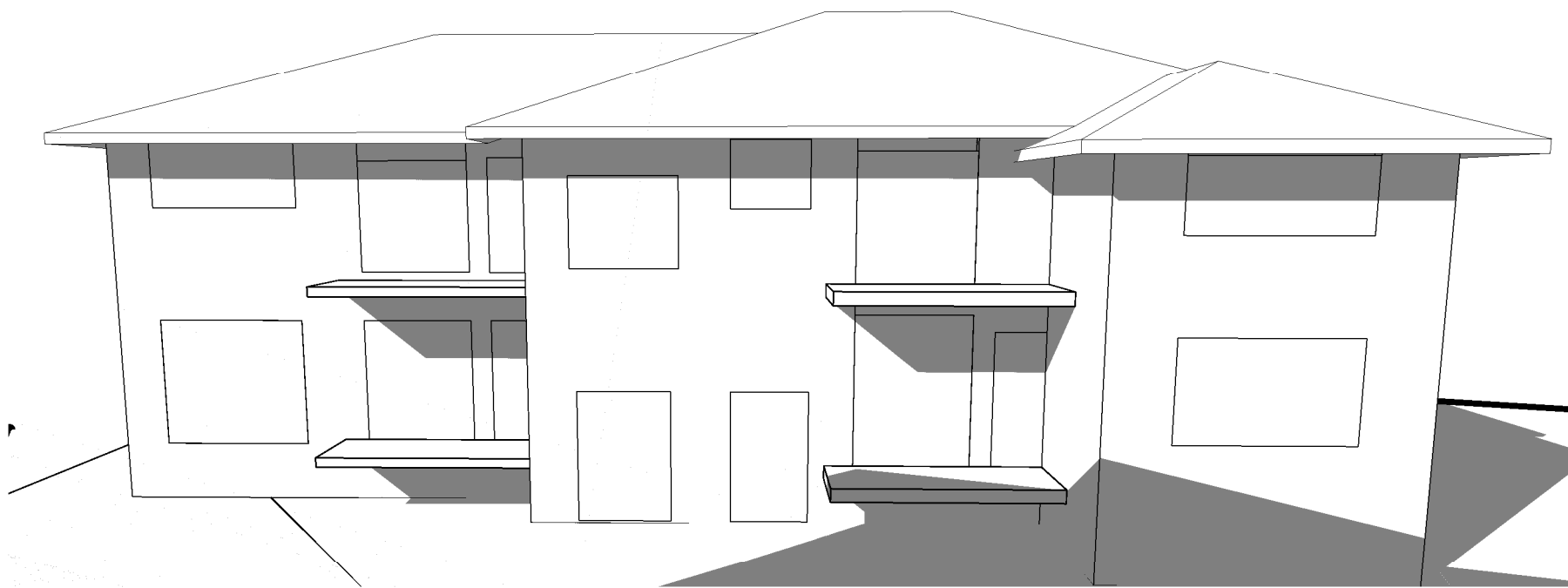
1 21ST JUNE 0800h



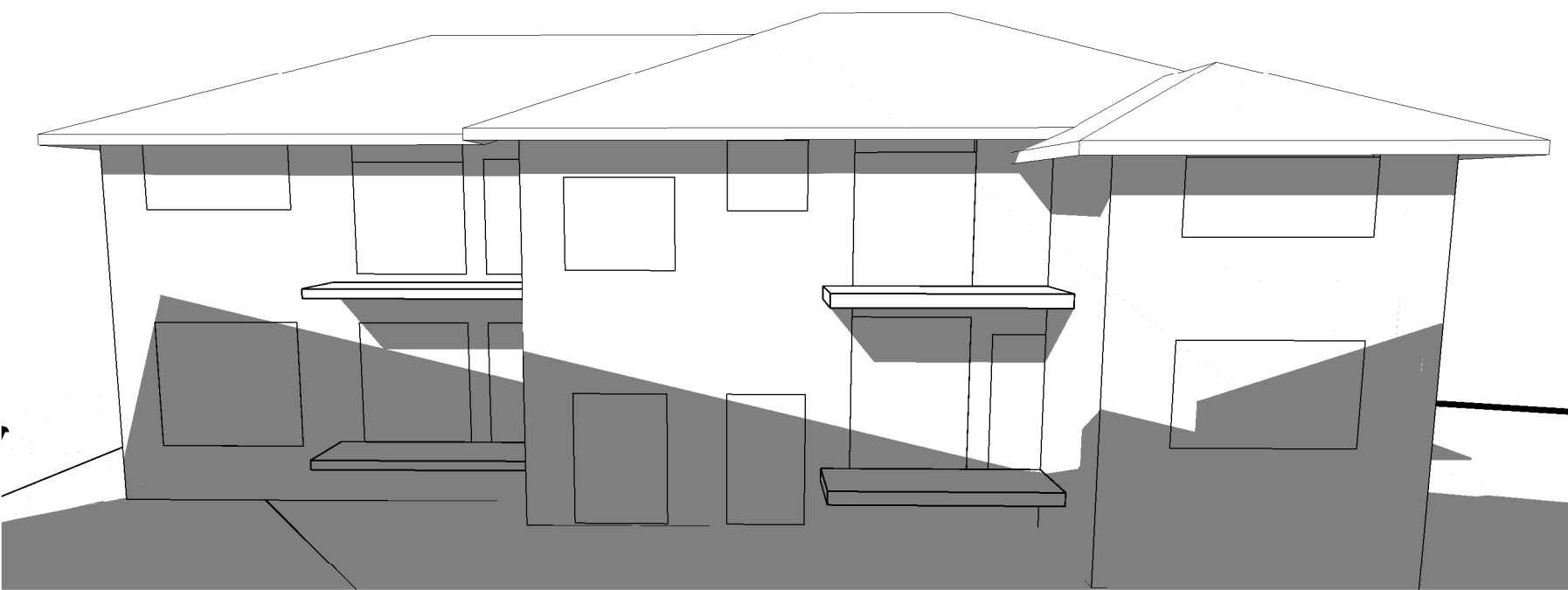
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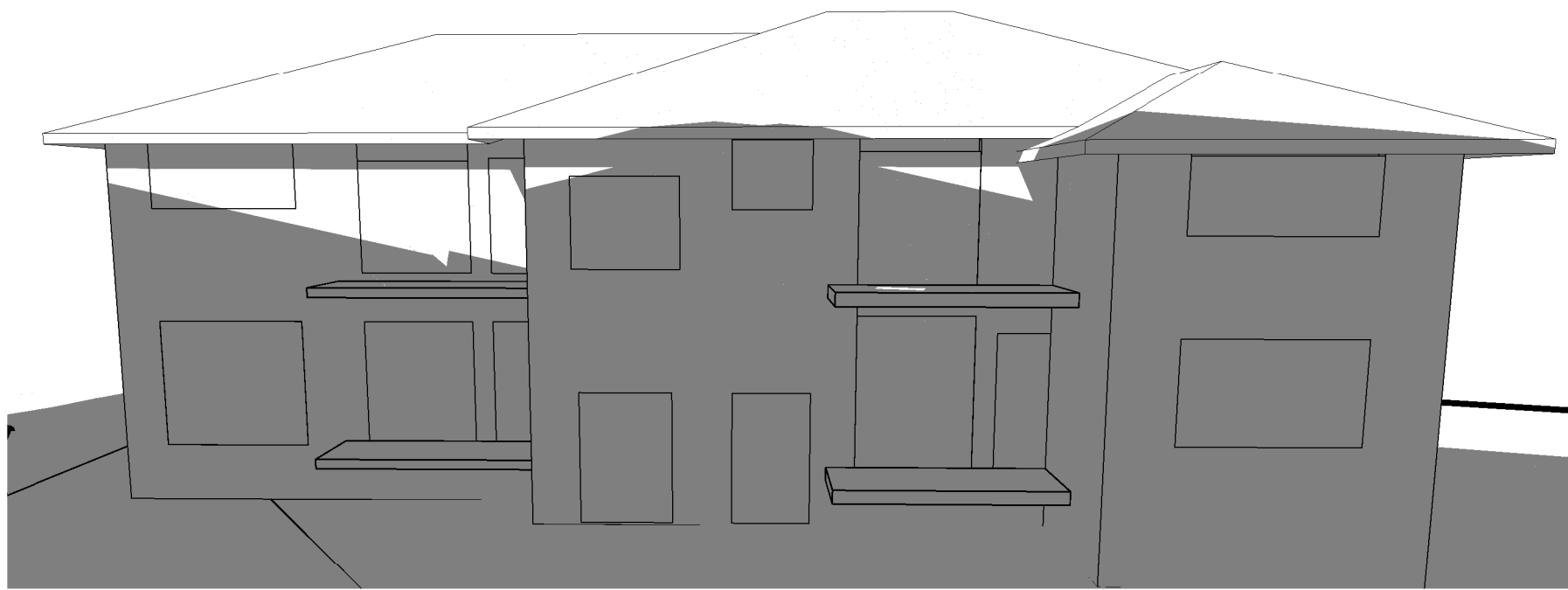
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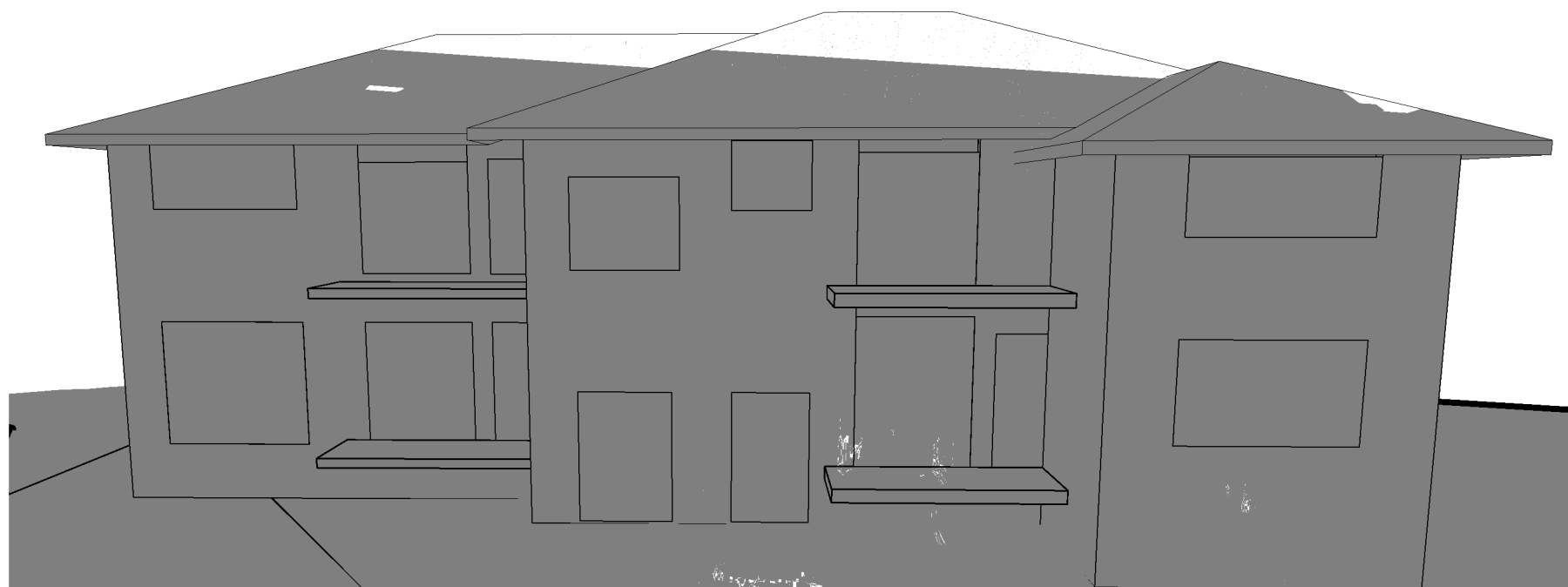
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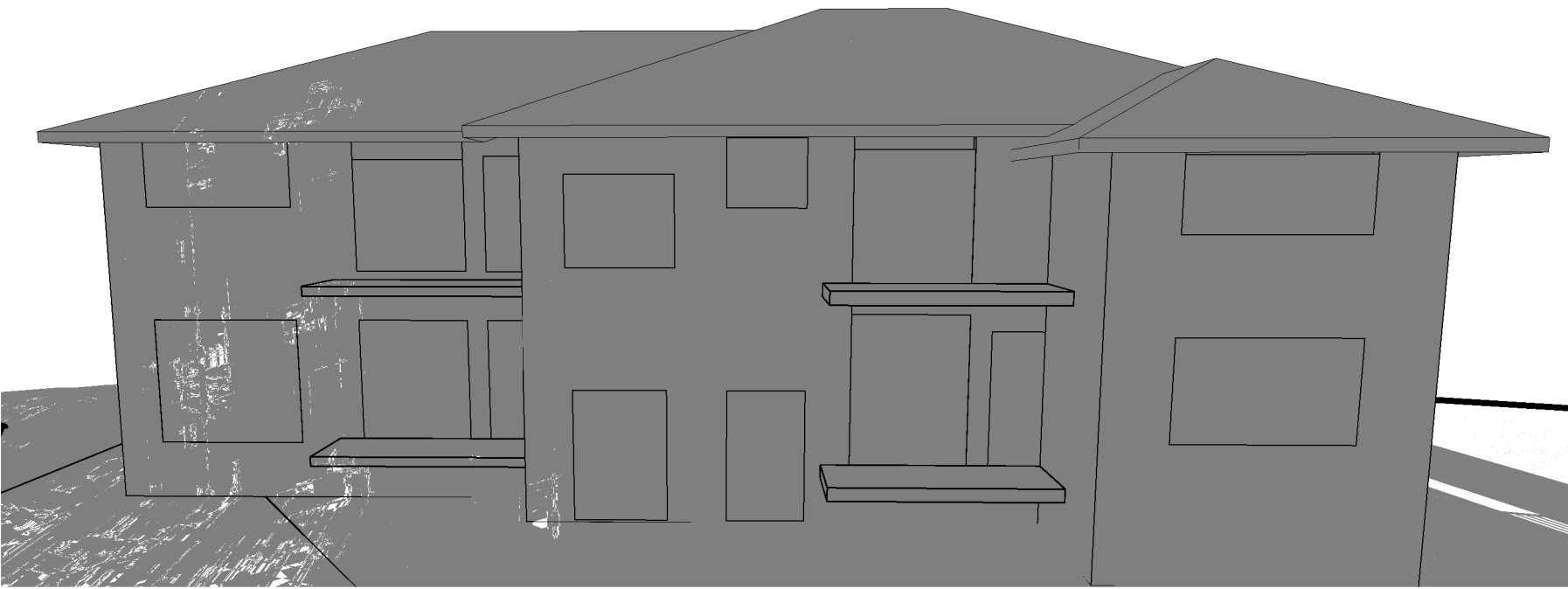
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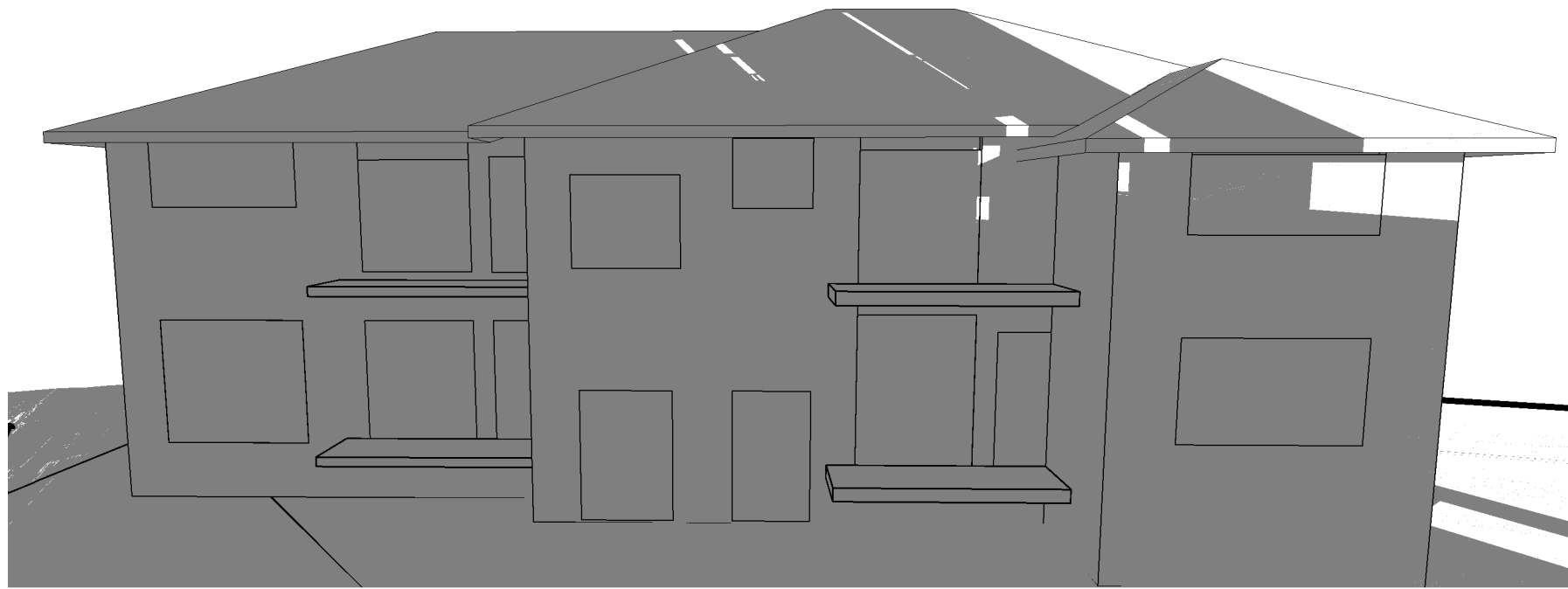
6 21ST JUNE 1300h



7 21ST JUNE 1400h



8 21ST JUNE 1500h



9 21ST JUNE 1600h

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DA ISSUE

APPROVED BY: CA  
CHECKED BY: JL  
CLIENT  
MR & MRS COSTAS

DRAWING  
SHADOW DIAGRAM -  
NEIGHBOURING

DATE	SCALE @ A3		DRAWN
07/12/19	NTS		
PROJECT No.	DISC.	DRAWING No.	ISSUE
2017151 A		DA-806	2
PROJECT			
NARWEE MIXED USE DEVELOPMENT			

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